

**PLANNING COMMISSION REGULAR MEETING
FEBRUARY 18, 2021 AT 6:30 PM
ELECTRONIC
MINUTES**

1. CALL TO ORDER

Chair *Nancy Bird* called the Planning Commission Regular Meeting to order at 6:41 PM on February 18, 2021 held electronically and open to the public.

2. ROLL CALL

Present for roll call were Chair *Nancy Bird* and Commissioners *John Baenen, Chris Bolin, Trae Lohse, Mark Hall,* and *Sarah Trumblee*. *Tom McGann* was absent.

Also present was City Planner *Leif Stavig*.

No one from the public was in attendance.

3. APPROVAL OF AGENDA

M/Hall S/Lohse to approve the agenda.

Upon voice vote, motion passed 6-0.

Yea: *Bird, Baenen, Bolin, Lohse, Hall, Trumblee*

Absent: *McGann*

4. APPROVAL OF CONSENT CALENDAR

a. Minutes of January 19, 2021 Regular Meeting

M/Bolin S/Hall to approve the consent calendar.

Bird said she had an addition to the minutes on page 6. At the end of *Ken Jones's* comments, she proposed the addition: "*Jones* suggested the Planning Commission could reconsider its motion now and still recommend review by the Harbor Commission." *Stavig* said as the author of the minutes, he agreed with the proposed change. There was no objection to the change.

Upon voice vote, motion passed 6-0.

Yea: *Bird, Baenen, Bolin, Lohse, Hall, Trumblee*

Absent: *McGann*

5. DISCLOSURES OF CONFLICTS OF INTEREST AND EX PARTE COMMUNICATIONS

6. CORRESPONDENCE

7. COMMUNICATIONS BY AND PETITIONS FROM VISITORS

a. Guest Speakers

b. Audience comments regarding agenda items

8. PLANNER'S REPORT

Stavig said he was willing to start in-person meetings whenever the Planning Commission was ready. He said the impound lot would have a staff presentation and discussion at the City Council meeting on March 3rd. It has been on the pending calendar for the City Council for a while, which is the reason it is coming up at the council level. The lot has gone through the land disposal process a number of times, the last of which council ultimately decided to not move forward with disposing of the lot. **Stavig** said he wanted to make it clear that with Robert's Rules and the agenda, the memos he prepares include a suggested motion, but it is appropriate for the commission to make any motion as long as it pertains to the topic presented on the agenda.

Stavig said at the meeting last month, they made a motion to reconsider, which they never voted on. Instead, they voted on the motion they were considering reconsidering. From Robert's Rules: "If a question of order is to be raised, it must be raised promptly, at the time the breach occurs." The only exception to this, is if it is a breach of "continuing nature," which is defined as "an action of continuing force and effect." Since the error was made at their last meeting, it would not be appropriate to call a point of order now. The agenda item will be coming back to the Planning Commission at their next meeting.

Bird said the error in the process was made by not voting on the actual motion to reconsider and instead jumping straight to the motion to recommend to City Council. While this might have resulted in a different outcome that night, the Planning Commission will be reviewing the issue again next month, possibly with additional information from the Harbor Commission. Both commissions' recommendations are to the City Council who makes the final decision. Time may have been "lost" in the process due to our error, but additional information may be gained.

9. NEW/MISCELLANEOUS BUSINESS

a. 2021 Land Disposal Maps – Discussion

Stavig said he provided the maps with either aerial photography for the commission to decide which they liked best. He explained the changes to the map which were detailed in the memo. He then provided information on properties that he said would be addressed at the meeting:

- Small triangle lot to south of Shelter Cove: It has deed restrictions including that it can't be sold. The entire lot is in a floodplain and is zoned Conservation.
- Corner of Nicholoff and Railroad Avenue: Those are three lots used for the boat haul out on the South Fill. There is a "floating easement" on the property, which means it is undefined.
- Two lots adjacent and south of Center Drive: These have old deed restrictions for well use, and also contain a lot of drainage from the highway. The flat land visible from the highway is a part of the ROW.
- Two lots at cul-de-sac end of Center Drive: The longer lot has a sewer easement which restricts usable area significantly. He did not see anything on the other lot, but noted that in the past, both of these lots had been marked as snow dumps.

Hall said he preferred the newer aerial photos. **Lohse** agreed and said he would like to look into making the lower of the two lots on the Center Drive cul-de-sac 'Available.' **Stavig** said he would get something from Public Works for the next meeting. **Bolin** said the lots south of Center Drive were critical for snow storage, but they never used the cul-de-sac lots. **Baenen** said he would like to have a label on the quarry on Orca Road. **Bolin** said to add one for the burn pile as well.

b. Resolution 21-02

A resolution of the Planning Commission of the City of Cordova, Alaska supporting efforts by the State of Alaska and FEMA to conduct a snow avalanche and landslide hazards assessment in and around the City of Cordova

M/Lohse S/Trumblee to approve Resolution 21-02.

Stavig said it is a great study for the city to get done. These types of studies get facilitated by the state so there isn't any project management that the city has to do. There was a similar study completed recently for tsunamis. They had a crude map before, and were able to get much more specific data. The city knows nothing about landslide hazards. There have been some avalanche studies, but technology has improved with LiDAR. He suspects this will be most useful for utility planning. For example, they have noticed some possible landslide activity around one of the city water sources, which can cause turbidity. It would be useful to better understand what is going on in this instance and be able to plan future projects around such hazards. **Trumblee** said that anytime they can get studies completed that are paid for by others is a win-win.

Upon voice vote, resolution passed 6-0.

Yea: **Bird, Baenen, Bolin, Lohse, Hall, Trumblee**

Absent: **McGann**

c. Building Codes - Discussion

Stavig gave a presentation on the applicable building codes and regulations for Cordova. This was last worked on by the previous City Planner, and the Planning Commission at the time had concurred to proceed with adopting the AHFC building codes. He still needs to figure out what has been completed to that end.

Baenen, Lohse, Bolin agreed that this was the direction they should be headed in. **Trumblee** asked about who checks credentials for people involved in contracting. **Stavig** said that the state has some information to help people hire contractors, but he does wish there was more. It's hard for the average homeowner to know all of the laws that contractors have to abide by. Professional licensing goes through the state, and they do have enforcement officials. **Stavig** explained that inspections only occur when someone is applying for AHFC financing. The city does not have a building inspector. Ultimately, individual property owners have a lot of responsibility when it comes to hiring contractors. Many local contractors understand what the requirements are.

Stavig said that adopting new building codes wouldn't significantly alter current processes, but it does set the city up to move in a direction of having inspections if that is the direction the city wants to go into. **Bird** said that at one time there was a building inspector, but that didn't work for very long. **Hall** said that he chose not to get his new house inspected, but he did look into his contractors. It comes down to personal responsibility of the landowner.

Bird said she'd like to take this up again in April or May when **McGann** could be present. **Stavig** said he would delve deeper into what had been done in the past. Sometimes editing code seems simpler than it really is. In the past, it quickly got complicated when they tried to adopt all of the AHFC amendments; he would like to see if there is any way to adopt the code by reference. His biggest concern at this point is if there is any concern about adopting the codes in general.

10. PENDING CALENDAR

Stavig said that a lot of commissioners attended the Planning Conference at the last one he attended, so if there was any interest in the future for participation with that, let him know.

11. AUDIENCE PARTICIPATION

12. COMMISSION COMMENTS

Baenen thanked the commission.

Trumblee thanked *Stavig* for the maps, and said she looked forward to the Planning Commissioner training.

Hall said they had a good meeting.

Bolin thanked everyone for their time, and appreciated the new maps. He was also looking forward to code revisions. He said the city put on a presentation about Proposition 2, which is available online.

Lohse said he appreciated the new maps, and looked forward to future building code discussions.

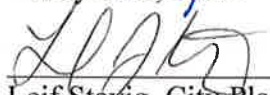
13. ADJOURNMENT

M/Bolin S/Hall to adjourn the Regular Meeting at 7:52 PM.
With no objection, the meeting was adjourned.

Approved:



Nancy Bird, Chair



Leif Stavig, City Planner