

Chairman
Tom Bailer

Commissioners
David Reggiani
John Greenwood
Greg LoForte
Tom McGann
Scott Pegau
John Baenen

City Planner
Samantha Greenwood
Assistant Planner
Shannon Joekay

**PLANNING COMMISSION REGULAR MEETING
FEBRUARY 12, 2013 @ 6:30 PM
LIBRARY MEETING ROOM**

AGENDA

1. CALL TO ORDER

2. ROLL CALL

Chairman Tom Bailer, Commissioners David Reggiani, John Greenwood, Greg LoForte,
Tom McGann, Scott Pegau and John Baenen

3. APPROVAL OF REGULAR AGENDA (voice vote)

4. APPROVAL OF CONSENT CALENDAR (voice vote)

- a. Minutes of 12-11-12 Planning Commission Regular Meeting.....(Pages 1-5)
- b. Minutes of 01-08-13 Planning Commission Regular Meeting.....(Pages 6-9)

5. RECORD ABSENCES

None

6. DISCLOSURES OF CONFLICTS OF INTEREST

7. CORRESPONDENCE

8. COMMUNICATIONS BY AND PETITIONS FROM VISITORS

- a. Guest Speakers – None
- b. Audience comments regarding agenda items (3 minutes per speaker)
- c. Chairpersons and Representatives of Boards and Commissions

9. PLANNERS REPORT.....(Page 10)

10. NEW BUSINESS

- a. Request for Access Easement on Tract A, ATS 900 (voice vote).....(Pages 11-19)
- b. Safe Routes to School Sidewalk Project.....(Pages 20-50)
- c. Letter of Interest to lease of portion of the Cordova Jr./Sr. High School (voice vote)..(Pages 51-56)

11. OLD BUSINESS

12. MISCELLANEOUS BUSINESS

13. PENDING CALENDAR

- a. February 2013 Calendar.....(Page 57)
- b. March 2013 Calendar.....(Page 58)

14. AUDIENCE PARTICIPATION

15. COMMISSION COMMENTS

16. ADJOURNMENT

**PLANNING COMMISSION REGULAR MEETING
DECEMBER 11, 2012 @ 6:30 PM
LIBRARY CONFERENCE ROOM**

NOTE TIME CHANGE TO 6 PM

MINUTES

DRAFT

A. CALL TO ORDER

B. ROLL CALL

**Chairman Tom Bailer, Commissioners David Reggiani, John Greenwood, Greg LoForte,
Tom McGann (Absent), Scott Pegau
and John Baenen**

C. APPROVAL OF AGENDA

M/Reggiani, S/Greenwood

Upon voice vote, motion passed, 6-0

D. APPROVAL OF CONSENT CALENDAR

Minutes from the November 13, 2012 Regular Meeting

(Pages 1- 10)

M/Reggiani, S/ Greenwood

Upon voice vote, motion passed, 6-0

E. RECORD ABSENCES

Tom McGann-called in at 6:15 PM

F. DISCLOSURE OF CONFLICTS OF INTEREST

Pegau-All items under New Business

G. CORRESPONDENCE

None

H. COMMUNICATIONS BY AND PETITIONS FROM VISITORS

1) Guest Speakers

Kate Morse from the Copper River Watershed Project will present in the next meeting.

2) Audience comments regarding items on the agenda

Katrina Hoffman, 108 Forestry Way-I'm aware that you are considering tonight 2 parcels that have been referred from the Harbor Commission back to you that are part of the Science Center's request to secure land to develop our campus for our facility's needs. I am aware that the Harbor Commission recommended to you non-disposal of a portion of Lot ATS220 and the same for Lot 2, Block 7A. I just want to remind you that we are not asking for 1 parcel independently of others, but we need to meet our whole institution's needs. So regarding what you refer to Council tonight, please consider our absolute need for access to our facility as we develop new ones in the community. To that end I would ask that re: Lot 2, Block 7A that you would consider re-plotting that lot and selling a portion of it or recommending that Council extend a long-term lease. We've had conversations before. I know the Science Center has been glad to be in Cordova and that you are glad it is here. So I am just asking that you keep that in mind and by that we're talking about other parcels as well that we are not discussing tonight. Those are in separate processes with the City Manager and eventually the City Council. But we won't meet our facility's needs with just one of them.

Teresa Benson, 201 Highland Drive-Local District Ranger: I would like to voice my support for the Science Center. The District Ranger before me, Dan Logan, went and introduced me to our key partners when I got here and the Science Center was definitely one of the key partners. The thing that jumped out at me immediately when I got here was just how unique that was for the Forest Service. Prior to coming here, I worked on about 8 different districts, 5 different States in the country. Really this is a very unique situation here in Cordova; the Science Center I would say is probably what every district ranger would love to have in their community. It's a really big deal in terms of the partnership. The federal dollars we have been getting have been declining quite dramatically for the last 5 years our budgets here have federally gone down approximately 30% and we're seeing a decline probably over the next 5 years another 10-20%. That is very concerning to me as far as the forest service presence here in Cordova. But the main focus right now of the federal government is to really start looking at partnerships. How can we get work down for the communities adjacent to federal land through other people? So the partnership with the Science Center in Cordova is the education and the science part of it. The education part of it is really key. The Forest Service used to have funding going to the schools and partner with the schools and really help with engaging the students in learning about science and how they someday could be scientists themselves or maybe contribute to preservation of federal lands. But we don't have that money anymore. We literally have dropped off the radar of federal dollars coming to Cordova. So we really rely on the schools partnering with other entities like the Copper River Watershed Project, the Science Center-really critical in maintaining that presence in the schools. The schools have mandates to have certain types of programs. The programs that the Science Center brings are really enhancing to young people. So that's a key element for us. We're definitely appreciative of the scientific work that the Science Center does as well. It saves us a lot of money in terms of what the Forest Service might want to do. They (Science Center) can go out and get federal grants that I, as a government employee, cannot do. Those are the key points I wanted to make. I also wanted to say my bosses in Anchorage and Juneau are very supportive of the Science Center: they've reached out and partnered with a lot of our partners as well and expanded their abilities in Prince William Sound and the Copper River Delta immensely over the last few years.

Mike Mahoney, 210 Boardwalk Way-I'm speaking on behalf of the Science Center as a board member. I'm also a commercial fisherman here. I would just like to point out a couple of things from my perspective that there are ways we can coexist together and meet the needs of the Science Center, the community and the fishing fleet. I just ask that we all bear in mind the resolution in 1995 setting aside that area as a priority area dedicated to science and education.

Robert Beedle, 609 Spruce Street-I'm also in favor of the Science Center. But I also think that, like the harbor, are a victim of our success. They're doing great work there. They're offices are overcrowded. They do need expansion. Well, the Harbor is the same way. We're right now in the planning stages of a South Harbor. I was looking at the proposal yesterday and counted the floats on there. There are slips that are going to go away so we're going to need room for expansion also and if we get rid of land in the Harbor (referring to Lot 2, Block 7A) it will put the Harbor in a very difficult position. It's an extreme expense to find other places (nearest) to do it. So I'd also like you to consider the Harbor's future and usability. Like I said, we're both a victim of our success and I am definitely for the Science Center but I please ask that you really look hard and long at Lot 2, Block 7A and Shell Beach also.

3) Chairpersons and Representatives of Boards and Commissions

None

I. PLANNERS REPORT

(Pages 11)

Samantha Greenwood wanted to add that she's working on the Ski Hill contract and that she sent Chapter 8 to the lawyers and should hear back shortly. She and Moe are working on Chapter 14, the water line code. **Pegau** asked what it means that Shoreside will close on 12/12. **Sam** said it

meant the sale was final and she believes that process went through before he was on. **Pegau** confirmed that.

J. NEW BUSINESS

1) Land Disposal Status of Portion of ATS 220 (west of Lot 1, Block 1, CIP) (Pages 12 -16)

M/Reggiani, S/LoForte

Reggiani-This portion of ATS 220, is it currently unzoned?

Samantha Greenwood-Yes.

Reggiani-So I was just confused with this Parks and Rec thing and thinking it was a park in an open spaces category so...

Samantha Greenwood-No it's not, I think it just meant that it could be zoned as a park.

Reggiani-Yes, I gathered that the use was recreational. I just want to confirm that it wasn't zoned.

Samantha Greenwood-Yes.

Greenwood- Just following up on that, I am curious why it wasn't zone and everything around it was.

Samantha Greenwood-I do not know the answer.

Greenwood-What is the zoning around?

Samantha Greenwood-Industrial.

Reggiani-Are you sure for the record?

Samantha Greenwood-It has the economic overlay but doesn't have the underlying zone.

Reggiani-The new break water zone, that's not zoned also?

Samantha Greenwood- Correct.

LoForte- Every time we sit and meet we get different twists and turns, all extremely interesting. The Harbor Commission that I am also on recommended we not give away or sell this property. And the reason for that, I believe, the feeling that the utilization would be simply for the Science Center. And yet, the Science Center has not pronounced what they would like to do with it. In your write up you say for public use. Well, you have two extremes of two canneries, almost meeting their and falling into that space in the summer time. It's a really dirty place. Not the type of place I'd like to go for a picnic but nevertheless, the feeling was that it's being utilized as a snow dump and could be utilized as accessible for Parks and Recreation. The Science Center has not explained what they're going to do with this property. In the presentation, you are very vague about it. That's really not a good explanation for a piece of property. Proposed purchase price \$1.26 per square foot.

Bailer- Hey Greg, you're out of order.

LoForte-I guess I'm getting off the subject.

Bailer-Yes.

McGann-My understanding, my belief, is that there hasn't been a sufficient argument made to sell this property. **Bailer**- Ok, John (Baenen) do you have a comment?

Baenen- No comment.

Bailer- I was a little surprised. I didn't even know this lot was there. I talked to a few people who say, yea this is my favorite beach to go down to. But from what I saw in the plan, it kind of mirrored what the City had in mind for it. The motion here is to have it "Not for Sale". In the past we have had these not for sale but people can come in and again apply for them. I hate to say that "not for sale" doesn't mean "not for sale" all the time. I will support the Harbor Commission's recommendation at this time not to sell this piece of property. Tom?

McGann- I'm in favor of designating this lot as being available. The Science Center proposal was to have it continue to be public access with improvements. The write up from the Harbor suggested it be parking and fuel tanks. I'm certainly against fuel tanks and as we have discussed in the past, there are other possibilities for parking. I think that selling this lot in conjunction with Lot 1, Block 1 would make the whole the greater than the sum of its parts. I didn't see any write up in the master plan just concerning this parcel.

Bailer- I guess I'll just add, Tom, if you saw it in the paper. But also, Moe, the Public Works Director suggested we hang on to this and they use it as a snow dump area since other properties are being sold around there.

McGann-Yes I did, but I think this (Science Center) is a better use of that land.

Reggiani-Call for the question.

Bailer-All those in favor? Opposed? For the record Scott (Pegau) did not vote on this.

Upon voice vote, motion passed 5-1

**2) Land Disposal Status of a portion of Lot 2, Block 7A, Tidewater Development Park (Pages 17-19)
M/Reggiani, S/Greenwood**

Reggiani-I really appreciate the Harbor Commission taking the time to look at both of these parcels but this one in particular because it's in the physical boundaries of the harbor specific. Appreciate all the planning that has gone into it and am looking forward to a clearer picture coming with the new harbormaster in place. At this point, as the Harbor Commission Chairman explained, we need room to grow in the Harbor and making it available for sale would go contrary to that.

Greenwood-Support the Harbor Commission views on this. They are doing their job and I am not going to go against their will and the plan they have in place.

LoForte-No comment.

Baenen-No comment.

McGann-I would just like to reiterate what was spoken before regarding City Resolution 02-95-13 and also the comprehensive plan. I'm in support of designating this as available.

Bailer- Ok, thank you. That resolution, when was that?

Samantha Greenwood-1995.

Bailer-When the State still owned the Harbor?

Samantha Greenwood-I believe so.

Bailer-That was a resolution supporting the Science Center.

Samantha Greenwood-Yes.

Bailer-Yes, we do a lot of resolutions in support of: Ice Worm, Sobriety. I guess I'm going to support the Harbor Commission as well. It doesn't seem right to sell a big portion of your harbor if you plan to expand in the future. But this also means that if we choose to put this as not for sale that the Science Center and Harbor Commission couldn't get together and maybe come up with a compromise. But, as for what's being asked now, I am going to support the Harbor's recommendation.

Upon voice vote, motion passed 5-1

**3) Recommendation to City Council of disposal Portion of ATS 220 (Pages 20 -23)
(Shell Beach)**

M/Reggiani, S/Greenwood

Bailer-Sam, can we have a quick explanation.

Samantha Greenwood-We need to change it, it shouldn't say Lot 2, Block 2 it should say 3.

Reggiani-Is this the portion of ATS 220?

Samantha Greenwood-Yes, that's my bad.

Reggiani-So that's what I would like to restate in my motion.

M/Reggiani, S/Greenwood

Bailer-And the reason we are doing this?

Samantha Greenwood-The reason we are doing this is we have a letter of interest on this property. Our land disposal criteria allow special circumstances. So we need to address that letter of interest to make a recommendation to City Council.

Bailer-So this is just our recommendation to City Council going forth?

Samantha Greenwood-Yep.

Reggiani-It seems redundant since we just put it on the not available list.

Upon voice vote, motion passed 5-1

4) Recommendation to City Council of disposal a portion of Lot 2, Block 7A, (Pages 24 - 27)

Tidewater Development Park

M/Reggiani, S/Greenwood

Bailer-Comments?

Reggiani-I said it's clean in the way it is written. Again, it seems a little redundant.

Upon voice vote, motion passed 5-1

K. OLD BUSINESS

None

L. MISCELLANEOUS BUSINESS

Samantha Greenwood asked if they should keep the meetings at 6:30 PM for the winter and the library as their venue. The commission agreed on both. **Reggiani** asked if Sam could access the internet or server for her maps. **Sam** said she would be able to pull them off her hard drive if she needed them.

M. PENDING CALENDAR

December 2012 Calendar

(Pages 28)

January 2013 Calendar

(Pages 29)

N. AUDIENCE PARTICIPATION

None

O. COMMISSION COMMENTS

Pegau-I'd like to welcome John (Baenen).

Bailer-John (Baenen) brings some expertise in water lines and construction, it's nice.

Greenwood-No comments.

Reggiani-I would like to welcome John too and look forward to his expertise as we're going through the different codes. He's got his hands into a lot of the utilities and water works and all those kind of things. I'm looking forward to working with you. Welcome.

Baenen-Thank you. I have a lot to learn. Just got everything today and getting into it. I am basing my voting on the Harbor Commission's decision today.

Bailer-Thanks for stepping forward.

McGann-No comment.

Bailer-It's not that we're just shutting the door on the Science Center. Are there other lots that could fulfill their needs? North Fill, South Fill, old City Hall. What's available?

Reggiani-Indeed they can meet their requirements.

P. ADJOURNMENT

M/Reggiani, S/Pegau @6:30 P.M.

PLANNING COMMISSION REGULAR MEETING

January 8, 2013 @ 6:30 PM

LIBRARY CONFERENCE ROOM

MINUTES

DRAFT

1) CALL TO ORDER

2) ROLL CALL

**Chairman Tom Bailer, Commissioners David Reggiani, John Greenwood, Greg LoForte,
Tom McGann, Scott Pegau
and John Baenen**

3) APPROVAL OF AGENDA

M/Reggiani S/Greenwood

Upon voice vote, motion passed, 7-0

4) APPROVAL OF CONSENT CALENDAR

N/A

5) RECORD ABSENCES

None

6) DISCLOSURE OF CONFLICTS OF INTEREST

None

7) CORRESPONDENCE

None

8) COMMUNICATIONS BY AND PETITIONS FROM VISITORS

1) Guest Speakers

Kate Morse introduced herself from the Copper River Watershed Project and said she was there to speak about the Odiak Pond Project and that she last presented in March and would like to fill the new folks in. She discussed snow melt and snow storage and how it affects waterways and also how run off from streets and driveways affect the local waterways. She believes that the Odiak Watershed is an opportunity to pilot "low cost, low maintenance" treatments for cleaning the snow melt and run off. The projects she's been working on are to develop a Native plant garden, to deal with invasive plants and finish grabbing samples to see how many pollutants are in the system. They have money to do a pilot demonstration to use plants to filter storm water. Bio-swell (picture was shown) was explained and how they can possibly implement that at the Hospital parking lot to get that water flowing back into the system. Would also like to re-direct the snow dump at the Odiak Pond with a barrier and possibly move the pavilion. There is an old railroad culvert that goes out into the pond that needs to be removed to let the water flow more naturally along the CRH.

2) Audience comments regarding items on the agenda

None

3) Chairpersons and Representatives of Boards and Commissions

Bailer wanted to know if Kate had been working with the State since the State plans on repaving and making a bike path. **Morse** said that she's mentioned that there are culverts there and they're completely plugged and that's a big source of water that is no longer being directed into Odiak. She said that Kristen has talked with Robbie the most. **Baenen** told Kate that those culverts are there but the reason they don't want to take them out is the electrical

wires that are underground. **Morse** then spoke about the emergency snow storage site. She said it was the most attractive that Odiak had until last winter's storm and it now has unsettled gravel and an idea would be to try remove some of the introduced material so the stream channel can reintroduce itself. She said that she'd be able to bring money to the table to hire an engineer when the City is making the City-Wide Snow Handling Plan.

9) PLANNERS REPORT

(Page 1)

Samantha Greenwood added to define "City" and "Not Available", the RFP for Samson electrical work will be on the City Council Meeting and is supposed to be done by April 1 and water/sewer will go simultaneously, she's been working a lot on the Ski Hill Lease and FFA is getting taken care of.

Shannon Joekay was hired as the Assistant Planner and she is starting Thursday. **Reggiani** asked Sam to explain what a "Slup Lot" is. **Sam** said a "Slup Lot" is the Eyak Corporation dividing their property to give their shareholders a 99 year lease

NEW BUSINESS

1) Land Disposal Maps 2013 recommendation to City Council

(Pages 2-16)

Samantha Greenwood wanted a discussion about the difference between "City" and "Not Available". **Bailer** asked for clarification. **Pegau** explained that some lots are designated as "City" and some lots as "Not Available". **Reggiani** wanted to know if any of the forest green that's labeled "City" on the map was "Available". **Sam** said that's what they needed to define. An example was the North Fill and if they were going to keep that for boats how is that different than a City building? **McGann** said it would be clear to call that "City" since it's going to be developed into Harbor storage. **Reggiani** asked them to think about going the other way with all "City" property just being "Not Available". **McGann** clarified that people could still come in under special circumstances to request to purchase "Not Available" property. **Reggiani** explained that they were discussing Land Disposal Maps and that any other title than "Available" or "Not Available" would confuse the issue. **Greenwood** asked if there was any way of an outsider knowing if a "Not Available" lot was being used by the City. **Sam** said that they could submit a letter of interest. After a lengthy discussion, a decision was made to change "City", "Snow Dumps" and "Not Available" to "Not Available". ATS "Tidelands" will be labeled as "Tidelands" now so it's clearer to potential buyers or lessees. Another subject that came up was only allowing people to request to re-designate areas from "Not Available" to "Available" once a year but after a lengthy discussion, it was decided that the current process of allowing people to request to re-designate at any time of the year was more beneficial to Cordova and public notice is part of the process. **Reggiani** wanted to discuss the Ocean Dock Area. He said it came up at their City Council meeting and they were talking about the CIP list, or basically the project request list that the City takes down to the legislature and lobbies for State money to come in. He said that basically the CIP list is a ranking by priority at what our top priorities are. They had a long discussion about a shipyard building and some of the members on the City Council thought that (a shipyard building) really wasn't a City function to build a building and create more City infrastructure and have to staff the building for boat work and stuff like that. Some thought that it should be available for a private entity to come build a building and do whatever. **Reggiani** explained that it's been in some people's thoughts that developing a shipyard area would encourage businesses to come in (fiber glass companies, welders, machinists) and set up shops down there so that when the boats get hauled out they can go to one of the shops. He said, he thought the Planning and Zoning Commission would be ahead of ourselves to change any of these "Not Available" designations to "Available". He'd really like to request that the Harbor Commission take a look at that and if they are really thinking that a City-owned shipyard building isn't the direction they'd want to go to (they'd rather see that privatized) that's won't happen if it's marked "Not Available". **Reggiani** suggests the Harbor Commission look at the maps and make a recommendation as to what they believe is "Available". **Bailer** agreed that the Harbor Commission should make the recommendation since he has been getting conflicting opinions as to which group wants the area and which doesn't. **Pegau** said he thinks that the expansion and a big building was

incorporated into a plan, but he may be wrong. He said that they have a really good Harbormaster who's not afraid to handle anything or answer any questions and that he really enjoys working with him. **Pegau** requested clarification about what exactly the Planning and Zoning Commission would like to see from the Harbor Commission: were they in fact asking the Harbor Commission to essentially draw out what the new configuration would look like? **Bailer** said yes. **LoForte** said it would be nice if there was more delineation between short term and junk yard storage. **Sam** said they're working on it. **Baenen** said he definitely wanted to see business promoted in Cordova and he would rather see businesses and companies rather than boat storage any day; more businesses means more people and they're buying houses. He'd like to see land available down there. **LoForte** explained some things that have been kicked around for the North Fill Development Park Area. They are reviewing the best use of the area for a new ramp, electrical hookups and they want to eliminate the congestion by Baja Taco. **Reggiani** said that Council is considering two things: to expand the fill and another was to have a shipyard building. As soon as boats were hauled out they can roll into a building to get fixed. The two ideas are not combined but will be looked at separately. They are discussing which should be the priority. **Greenwood** stated that he was hoping fill was on the radar as we are running out of flat useable land. It will be money well spent. **LoForte** said that they are putting the new ramp and electrical in this summer to get rid of the congestion by Baja Taco. **Sam** said that we may want to get the land disposal status on the North Fill changed and that she is asking the Harbor to come up with a plan for Lot 3A by Bayside Storage to either utilize it or dispose of it, by possibly making it a standard lot as it is sub-standard currently. **McGann** requested clarification on the breakwater fill area: should be sale pending and the triangular area in front of Trident South should be "Not Available". **Sam** said that it was a bad GIS layer but she will continue working on it. **Pegau** recommended the designation of Shell Beach as "Not Available". **Sam** said she was not sure how to display that as it isn't its own lot but she will work on ATS220 for the next meeting hopefully. **Sam** suggested that Shell Beach be designated as "Not Available" but it may be a better way to say it would be reviewed every time and the answer would be yes or no instead of changing the designation, since it's not a platted piece of property within ATS220.

10) OLD BUSINESS

None

11) MISCELLANEOUS BUSINESS

None

12) PENDING CALENDAR

January 2013 Calendar
February 2013 Calendar

(Pages 17)

(Pages 18)

13) AUDIENCE PARTICIPATION

None

14) COMMISSION COMMENTS

Sam will speak to Susan B. about microphone tricks for conference calls.

Scott Pegau said he noticed how bad the addressing is while he was helping his wife with UPS and that we really need to clear up maps for health and safety responders.

Sam said that E911 and Addressing falls hand in hand and it is on the plate for Shannon and herself.

Shannon brings extra knowledge as she's worked for the Police Department and knows their needs as well.

15) ADJOURNMENT- M/David Reggiani, S-John Greenwood@ 8:20 PM

Planners Report

To: Planning Commission
From: Planning Department Staff
Date: 2/12/13
Re: Recent Activities and updates

- Building Permits Issued: Wilson Construction, 1020 Chase Avenue (Commercial); Diane Ujioka, 412 Fourth Street (Residential); Steven Schmid, 412 First Street (Commercial); Jim Kallander, 302 Orca Inlet Drive (Residential)
- Would you like to get the “Zoning Bulletin” and the “Legal Briefings for Buildings Inspectors” electronically?
- Would you like to get the “Alaska Planning Commission Handbook-January 2012” electronically in PDF or would you like a hard copy?
- Shannon is going to ArcGIS training in March and will be absent from the March P&Z Meeting.
- Began meetings with Public Safety and the Clerk’s Office re: Addressing.
- Removed “Draft” watermark from Draft minutes to make it easier for you all to read. Just put DRAFT in the title. Does this work for you or do you prefer a watermark?
- Samson land trade is in the final stages, electrical ditches are being dug and conduit placed, plat is completed and will be recorded.
- The ski hill contract has been approved by the state and our lawyers. Will presented to ski club contract committee
- Working with FAA on the electrical use and payment
- Will start working with the Ski hill on the electric bills and city payments after contract is signed
- Chapter 14 has been sent to lawyer, the hospital portion of 14 has been moved to chapter 15 and had its first reading on the 2/8. Plan is to have the rest of chapter 14 and 8 on the 2/20 city council meeting for first reading
- Have started to develop a plan to implement addressing. Will start work on project this month

Memorandum

To: Planning and Zoning
From: Planning Department Staff
Date: 2/7/2013
Re: Access Easement Request through City Property

PART I. GENERAL INFORMATION:

Requested Action: Access easement through City property
Address & Survey: Tract A, ATS 900
Zoning: Conservation

PART II BACKGROUND:

An application has been received requesting a driveway access easement through Tract A, ATS 900 (see attached map) at the Fleming Spit Area. The applicants have purchased Lot 3, USS 2764 which sets directly behind Tract A. The requested location and letter is attached along with other location maps.

In order for me to understand the different types of easements I did some research and have provided the information below.

An **easement** is a certain right to use the real property of another without possessing it.

An **access easement** is an easement created for the purpose of providing vehicular or pedestrian access to a property.

A **public easement** is a special type of property ownership. When an easement exists on a piece of land, the owner of that land must permit others to use the easement for the stated purpose. If the easement is a public easement, the person who owns the land has to allow members of the public to access a defined area of his land for the reasons stated in the easement.

An **easement**, on the other hand, is a much more limited type of property ownership. An easement is a non-possessory interest, which means that if a person is granted an easement, he does not own the land and cannot use it at will. When the easement is granted, it will stipulate a specific purpose that the portion of land can be used for.

Public and private easements

A private easement is held by private individuals or entities. A public easement grants an easement for a public use, for example, to allow the public an access over a parcel owned by an individual.

Average driveway width is 10 to 12 feet.

PART III. REVIEW OF APPLICABLE CRITERIA:

In order for the access easement to be granted, Planning and Zoning Commission needs to review all possible locations for the easement and potential affects to the City property that the easement will create. Since this is an access easement the area defined as the easement will be encumbered, meaning the easement cannot be blocked.

The applicant has asked for an easement thirty feet wide and that will run the entire width of Tract A, ATS 900. This option will provide access to the entire Lot 3. (See attachment A) While this is a viable option I would like the commission to consider an additional option. The purpose of the easement is to provide access to Lot 3, an easement running on the west side of Tract A, 15 feet by 30 feet would provide adequate access to the lot and encumber less city land. (See attachment B)

Communication with the Alaska Department of Transportation (ADOT) has been occurring simultaneously with the applicant's request. ADOT has requested documentation from the City that an easement will be granted prior to the issuance of a driveway permit.

I am attaching a resolution approving the access easement, if the commission chooses may vote on to provide the requested document to ADOT.

Special Conditions

1. Driveway permit will be applied for and the applicant and planner will work with ADOT to obtain driveway permit and record easement on the State Recorder's Page.
2. A survey showing the easement on Tract A, ATS 900 that will be recorded with the legal written description as an attachment.

PART IV. STAFF RECOMMENDATION:

Staff requests that the P&Z Commission review and discuss all access options. Staff recommendation is Attachment B and the special conditions for these reasons are outlined below:

1. It provides adequate access to Lot 3;
2. It encumbers the smallest amount of square footage of City property;
3. An attached survey document to the recorded legal description eliminates confusion and protects both parties

The commission may use the attachment letter to fill in the blanks in the resolution.

PART V. SUGGESTED MOTION:

"I move to approve the resolution 13-02 and the special conditions listed in this staff report"

Heather Gora
PO box 2073
Cordova, Ak. 99574
January 11, 2013

Sam Greenwood
City of Cordova
Planning Department
Cordova, Ak. 99574

Dear Sam:

I would like to formally request the creation of an easement in front of our property: lot 3 Shelter Cove.

Included is the plat map of the Cove indicating the location, width, and length of the requested easement.

Sincerely,

Heather Gora

C/L 12' WIDE GRAVEL ROAD

(2-5) SW, AK

ATS 900
TRACT B
PLAT # 77-2

ATS 1610
TRACT A

50' WIDE PUBLIC ACCESS EASEMENT
PER AS 38.05.127

(ADOT DRAWING X-51890 CORDOVA TO NEW ENGLAND CANNERY RD.)
NEW ENGLAND CANNERY RD.

50' WIDE PUBLIC ACCESS EASEMENT
PER AS 38.05.127

50' WIDE PUBLIC ACCESS EASEMENT
PER AS 38.05.127

EASEMENTS
CREATED
ATS 1610

ATS 900
TRACT A

LOT 3

WC DIST 3.3'

U.S.S. LOT 4
0.70 Acres

LOT 5
0.94 Acres

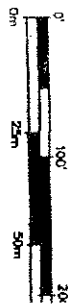
LOT 6
1.52 Acres

BASIS OF BEARINGS
891.66'(R) N 44°58'00" E
U.S.S. 2764

2006-9
CORDOVA REC DIST
Date 11/15 2006
Time 11:35 AM
Requested by DNR
Address

4515

1 METER = 3.280833 U.S. FEET 1 U.S. AC



SCALE

NOTARY'S ACKNOWLEDGEMENT
SUBSCRIBED AND SWORN TO BEFORE ME
DAY OF Sept, 2006.
FOR: Scott A. Hahn, City
Cynthia R. Appleton
NOTARY PUBLIC FOR ALASKA
MY COMMISSION EXPIRES 8/20/20

APPLICANT CERTIFICATE
I, THE UNDERSIGNED, HEREBY CERTIFY THAT AS SHOWN HEREON, I HEREBY APPROVE
ADL NO. 227397
SOUTH HAIN CITY MAN
P.O. BOX 1210
CORDOVA, ALASKA 995

DATE OF SURVEY: BEGINNING: SEPTEMBER 2002
ENDING: OCTOBER 2002
NAME OF SECTION: 1044 EAS
HOMER, AK
STATE OF ALASKA
DEPARTMENT OF NATURAL
DIVISION OF MINING, LAND
ANCHORAGE, ALAS
ALASKA STATE LAND SURV

Located with
PROTRACTED SECT
T.15 S. R. 3 W. C.R.M
CONTAINING 5.21 AC
CORDOVA RECORDING E
APPROVAL RECORD
DRAWN BY: KB
DATE: 3/15/03
STAMPED BY: [Signature]
CHECKED BY: [Signature]

**CITY OF CORDOVA, ALASKA
PLANNING AND ZONING COMMISSION
RESOLUTION 13-02**

**A RESOLUTION OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF
CORDOVA, ALASKA APPROVING THE REQUEST FOR AN ACCESS EASEMENT ACROSS
TRACT A, ATS 900 AS DESCRIBED IN ATTACHMENT ____.**

WHEREAS, the Planning and Zoning Commission of the City of Cordova supports and encourages improvements better access to private property; and

WHEREAS, the Planning and Zoning Commission of the City of Cordova has determined that providing an access easement across City-owned Tract A, ATS 900 is in the best interest of the City; and

WHEREAS, the Planning and Zoning Commission of the City of Cordova has identified that the best route for the access easement is the route outlined in Attachment ____.

NOW, THEREFORE, BE IT RESOLVED THAT the Planning and Zoning Commission of the City of Cordova hereby approves the request for an access easement across Tract A, ATS 900 as described in Attachment ____.

PASSED AND APPROVED THIS 12th DAY OF FEBRUARY, 2013

Tom Bailer, Chairman

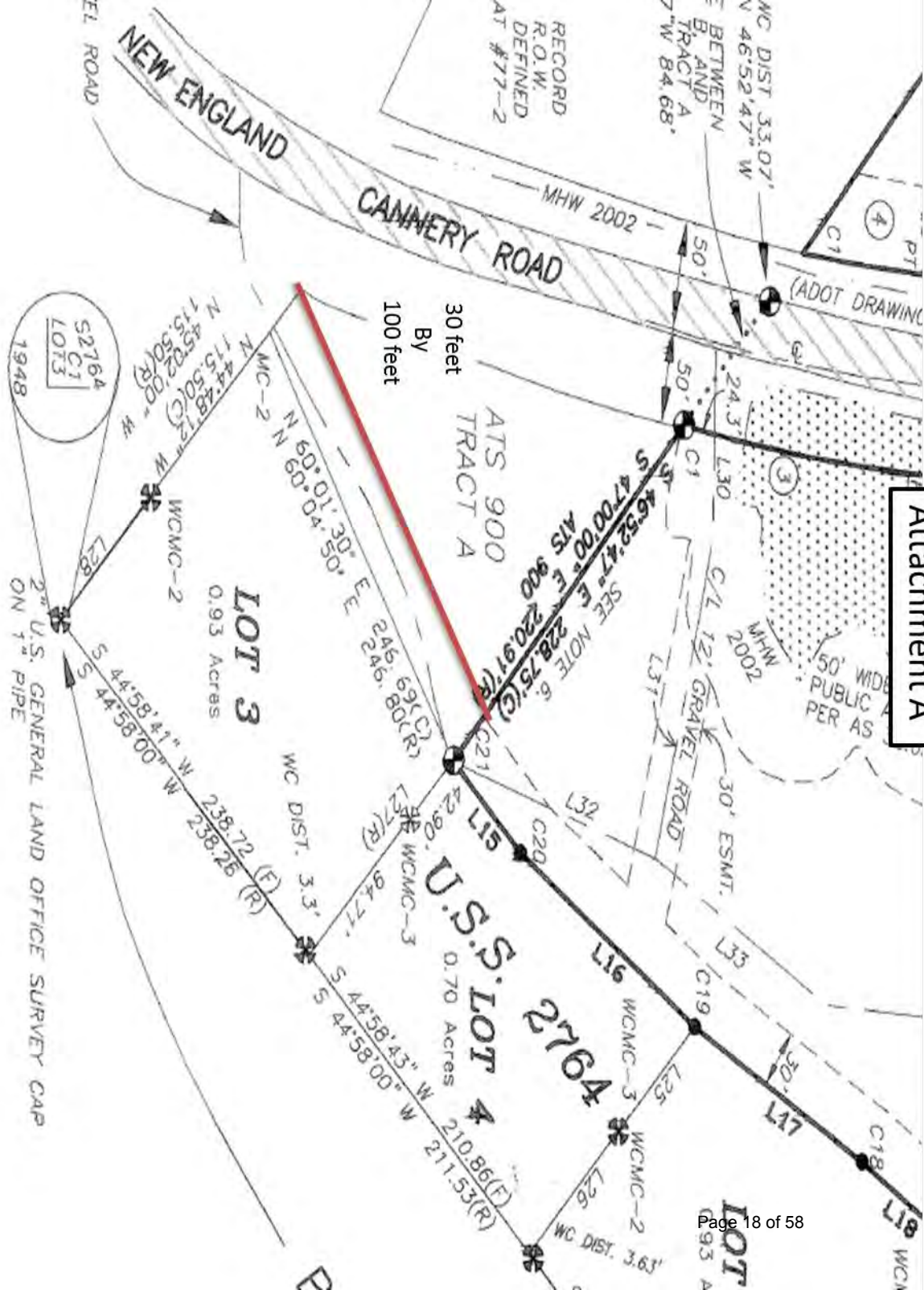
ATTEST:

Samantha Greenwood, City Planner

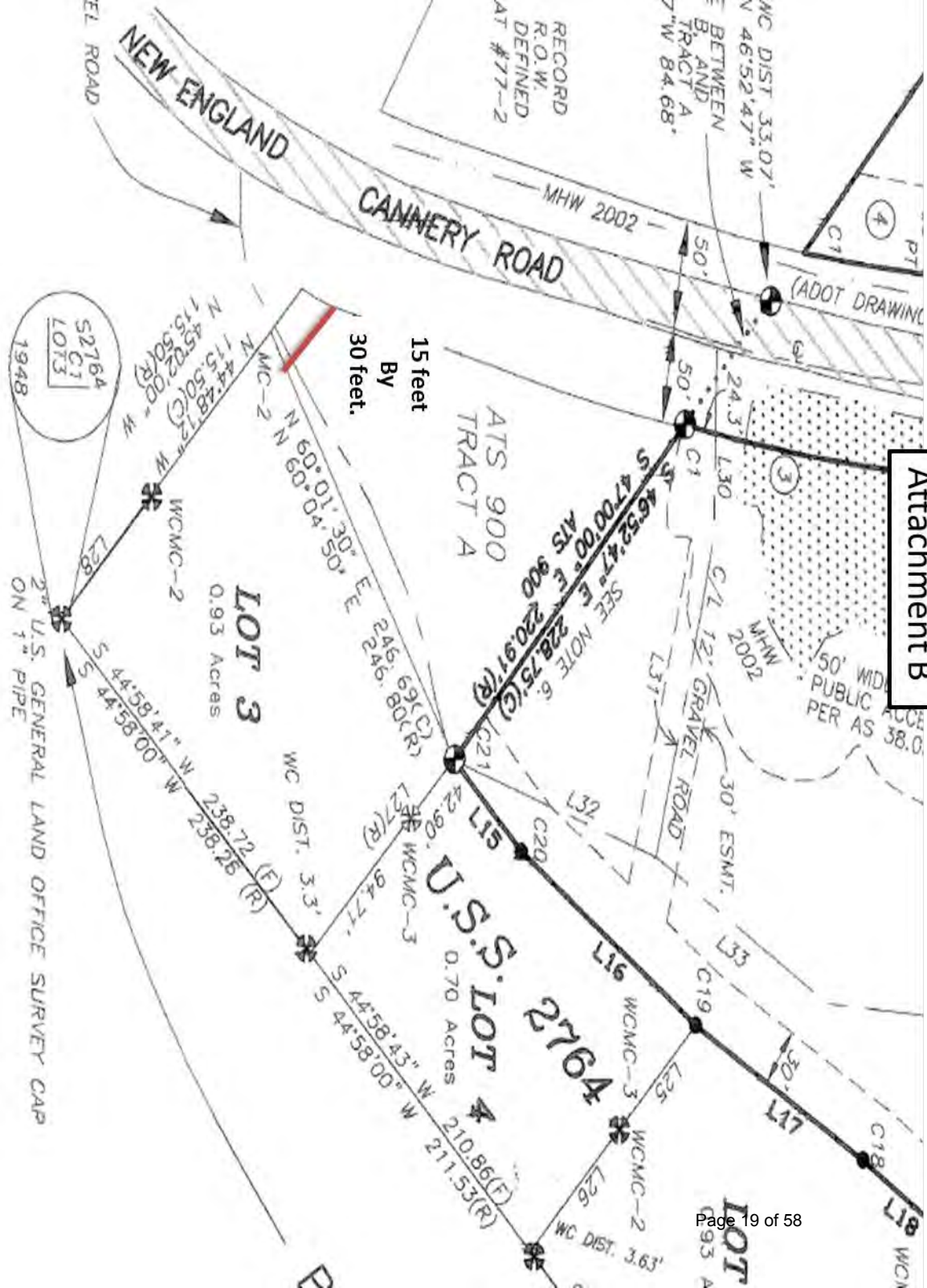
Location Map







Attachment B



Memorandum

To: Planning and Zoning
From: Planning Department Staff
Date: 2/7/2013
Re: Safe Routes to School Update and Plans

PART I. GENERAL INFORMATION:

Requested Action: None
Address & Survey: Sidewalk on 3rd Street and Raised Crosswalk on Lake

PART II BACKGROUND:

The Safe Routes to School program has been working diligently to identify and secure a grant for a safe route for children to walk to the elementary school, since 2008. Safe Routes to School has held public meetings to discuss all of their projects including the development of the current sidewalk and raised cross walk plan. They have also had booths at the health fair where information and input was requested from the public.

Safe Routes to School has presented at both City Council and Planning and Zoning meetings. There have been resolutions of support from City Council in 2010 and 2011.

On 7/21/2010 City Council passed Resolution 07-10-42 supporting safe routes and the feasibility study;

On 6/14/2011 Kathy Zamudio was a guest speaker at a P&Z meeting providing an update on the project and grant efforts;

On 6/28/2011 City Council passed resolution 06-11-31 supporting the second part of the grant and the sidewalks on 3rd street and the elevated cross walk on Lake Avenue;

On 10/17/2012 City Council directed the City Manager to accept grant administration and project management for the Safe Routes to School project. The City manager also answered questions that had been previously asked by City Council and Public Works director;

On 1/28/2012 City Manager signed the intent to proceed.

At this time we are working on a project agreement. Once completed the grant monies will be acceptable and the engineering company will be contacted to start completing the 35% drawing that we currently have.

This information is provided for discussion and a representative from Safe Routes to School will be present to assist in answering questions on the development of the grant.

The City has officially taken over the grant and the planning and public works department are working together to administrate the grant and project. Our tentative schedule is:

1. Sign off with State on project agreement.
2. Develop and set up the administration of the grant.
3. Work with engineering company.
 - A. complete drawings
 - B. Survey of ROW
 - C. Address Drainage agreement among all stake holders
 - D. RFP

The Planning staff will provide updates to P&Z on progress of the project.

**CITY OF CORDOVA, ALASKA
RESOLUTION 07-10-42**

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF CORDOVA, ALASKA,
IN SUPPORT OF SAFE ROUTES TO SCHOOLS GRANT**

WHEREAS, public meetings, surveys and informational mailings have taken place in Cordova over the past 18 months to solicit opinions from the citizens of Cordova regarding this project; and

WHEREAS, the City of Cordova is committed to seeking/developing safe routes to school for our children and continually improving the quality of life for all Cordovans; and

WHEREAS, the City of Cordova continues to strive to bring tourist to our community, having a formal identity of "Bike Safe Community" would complement this effort; and

WHEREAS, as the City of Cordova strives to encourage a safe and healthy lifestyle for all of our population, instilling it in our youth by providing such safe routes to school would allow for a positive lifestyle to be developed early; and

WHEREAS, the state of Alaska has formally approved our grant for infrastructure of \$499,000 over the next couple of years as well as the feasibility study, the SRTS Committee simply needs council support to move forward with support for a critical feasibility study; and

WHEREAS, the Committee will continue to update the council on the progress of this grant; and

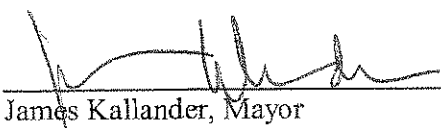
WHEREAS, the RFP has been submitted for engineering services for the feasibility study and the responses have been reviewed by the SRTS Committee; and

WHEREAS, there is no financial commitment by the city for any part of this grant (feasibility study or otherwise); and


NOW, THEREFORE, BE IT RESOLVED that the City Council of the City of Cordova, Alaska, does hereby voice its support of the Safe Routes to School grant by its support of the necessary feasibility study.

PASSED AND APPROVED THIS 21st DAY OF JULY, 2010

ATTEST:


James Kallander, Mayor




Susan Bourgeois, City Clerk

**CITY OF CORDOVA, ALASKA
RESOLUTION 06-11-31**

**A RESOLUTION OF CORDOVA CITY COUNCIL IN SUPPORT OF THE SAFE
ROUTES TO SCHOOLS GRANT EFFORTS**

WHEREAS, the Cordova School District has been working on the Safe Routes to Schools Grant for the past 24 months with State and Federal agencies; and

WHEREAS, the Cordova City Council recognizes the need for safe routes for our school age children to walk/ride bicycles to school on a regular basis; and

WHEREAS, the Cordova City Council realizes that as motorized vehicle traffic increases around our schools by encouraging biking and walking, safety will be improved; and

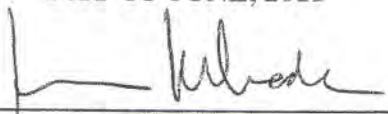
WHEREAS, by developing safe routes to schools we can address the growing concern surrounding obesity of our student population by providing another means of rigorous physical activities such as walking or riding a bicycle to school; and

WHEREAS, with the second half of the grant about to be fully funded (\$500,000 total), the Cordova City Council is in full support of additional sidewalks and new elevated crosswalks on Adam's Street (a City street) and Lake Avenue (a State road).

NOW THEREFORE BE IT RESOLVED, that the Cordova City Council supports the efforts of the Cordova School District to obtain grant funding to this point, and accepts responsibility from this point forward in scheduling necessary work to see the project fully implemented.

PASSED AND APPROVED THIS 28th DAY OF JUNE, 2011




James Kallander, Mayor

ATTEST:


Susan Bourgeois, City Clerk



CITY OF CORDOVA

Office of City Manager

City of Cordova
602 Railroad Ave.
P.O. Box 1210
Cordova, Alaska 99574
Phone: (907) 424-6200
Fax: (907) 424-6000
Email: citymanager@cityofcordova.net
Web: www.cityofcordova.net

Memo to City Council
Re: Safe Routes to School Grant

October 10, 2012

A Safe Routes to School grant is available to Cordova in the amount of \$253,172.54. It was applied for by Cordova School District, who has asked the City to sign the Notice to Proceed with the state and administer the grant and oversee the project.

Initially there were several questions that the City needed answers to. One question was concerning the total amount of funds available, and it has been established that none of this grant has been expended, so the full amount is still available for the project. Also, there were questions concerning state maintenance of the infrastructure once installed, and the answers to that are on the attached e-mail response from Steve Soenksen. Mr Soenksen also verified in the e-mail that if the project goes over the engineer's estimated budget the SRTS project will still cover the additional costs without any City match.

Based on the information I have received to date I can recommend that Council authorize me to sign the Notice to Proceed and accept grant administration and project management. However, there will be a cost in additional personnel hours to City employees, and I am not sure exactly what the will be. If we are successful at filling our Facilities Superintendent position, which also includes project management, we should have it covered. If we don't get that position filled right away we would need to contract for project management on this project in much the same way we have on other recent project such as the breakwater, hospital roof, etc.

Recommended action: Voice Vote.

I move to direct the City Manager to sign the Notice to Proceed and to accept grant administration and project management for the Safe Routes to School project which has a total authorized budget of \$253,172.54.

Thank you,
Mark Lynch
City Manager

From: [Soenksen, Steven M \(DOT\)](#)
To: [Mark Lynch](#)
Subject: Re: City of Cordova SRTS questions
Date: Wednesday, October 10, 2012 3:10:41 PM

Hi Mark

Yes, the "final cost" will be known as the final design work is completed. We have a "project revision" form that can be completed to cover additional cost to complete this project. It is 100% federal funding, unique to other transportation projects that may require a local match.

This program does not require a match. It may in the near future. The community, through a public process designed these solutions and the federal money is available as a reimbursable grant to the city

Feel free to call me at 907 957 7550 if you have additional questions.

Thank you
Steve Soenksen

On Oct 10, 2012, at 12:23 PM, "Mark Lynch" <citymanager@cityofcordova.net> wrote:

Steve,

I'm not sure if this has been asked yet or not, but what if the project goes over the engineer's estimated budget? Does funding get adjusted, or is the City responsible for the additional costs?

Thanks,

Mark Lynch
City Manager
City of Cordova, AK

From: Soenksen, Steven M (DOT) [<mailto:steve.soenksen@alaska.gov>]
Sent: Wednesday, October 10, 2012 10:24 AM
To: Josh Hallquist; Potts, Glenn F (DOT)
Cc: Mark Lynch; tkeel@cordovasd.org
Subject: RE: City of Cordova SRTS questions

Josh:

I just spoke with Glenn Potts in our Northern Region Right-of Way Section. Our preliminary review is that you are correct on both points below. The short answer is no. However, it has been some time since we looked at this question and the specifics, Glenn would like to review the paperwork to be sure of this answer. We will contact you soon if there is additional information.

Essentially, as I understand it, the city is given permission to construct this facility in the state right-of-way as it is part of the locally planned improvements under the SRTS federal funding guidance. But the state would be responsible for maintaining it as with other elements in the state right-of-way constructed with federal funds. He did look at the site and is familiar with the location and thought it to be reasonable and appropriate improvement for the safety of children as a community project.

While a little extra care or possible reduced speeds may be necessary by snow removal crews, it is believed that the increase in safety is worth the effort. As a traffic calming measure, it will be effective in slowing down the traffic and increasing visibility of children in an area that they may be traveling in increasing numbers. Parents and public involvement indicated this improvement to the right of way is desirable (and necessary, for some) from a public safety perspective. Many thought that if this were improved, there would be more willingness to allow their children to walk to school. As I recall, almost 80+% of children live within a mile of the school. This link will serve a large part of those families. Field trips for the children would use this route as well.

As it is a hot topic, I would be available for a phone call or other contact to assist the community in putting this project together and on the street. Please let me know how we can assist.

Steve Soenksen, Coordinator
Alaska Safe Routes to School Program
907-465-4069 ofc
907-957-7550 cell

From: Josh Hallquist [<mailto:CCPM@cityofcordova.net>]
Sent: Wednesday, October 10, 2012 9:11 AM
To: Soenksen, Steven M (DOT)
Cc: citymanager@cityofcordova.net
Subject: City of Cordova SRTS questions

Steve,

The two questions that the City Manager needs written confirmation on for the city to proceed with the currently approved SRTS plan/project for Cordova public schools are as follows;

1. Will the city be responsible for maintaining the raised crosswalk section of Lake Ave in the future if damaged by state snow removal or in the event that lake avenue is re-paved? **NO**
2. Will the city be responsible for fixing any signs damaged by state snow removal? **NO**

It is my understanding from our conversation on 10-2-12 that the answer to both was

no. Please verify this in writing at your earliest convenience. I don't know if it would be possible to get a response this afternoon, but the City Manager would like to include the response in the city council packet which has a deadline of tonight. This is a hot topic for city council and it would be nice to tell them all concerns have been addressed and it is a go.

Thanks for your time and sorry for the rush!
Josh Hallquist
CCPM

PRELIMINARY ENGINEERING REPORT

CORDOVA SAFE ROUTES TO SCHOOLS

Cordova, Alaska

March 2011

Prepared for:

Cordova School District
P.O. Box 140
Cordova, Alaska 99574

Prepared by:



SHARED VISION. UNIFIED APPROACH.

2515 A Street
Anchorage, Alaska 99503
Phone (907) 276-4245
Fax (907) 258-4653

USKH WO# 1263400



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APPENDICES

Appendix Engineering Exhibit



1 PROJECT PURPOSE

The purpose of this project is to establish improved pedestrian links between Mount Eccles Elementary School and adjacent neighborhoods where a large percentage of the students who attend the school reside. The intent of the project is to encourage students to walk to school, rather than be driven to school, and to improve safety for students who do choose to walk.

2 PROJECT DESCRIPTION

There are currently no sidewalks connecting Mount Eccles School to any neighborhood in the community. Students who walk to school do so in the street. Cordova is subject to heavy snowfall and snow plowing operations result in large snow berms, which constrict the width of the roadways. During these conditions, there really is no safe option for elementary school children to walk to school. This project would create a sidewalk link between Mount Eccles Elementary School and Lake Avenue, which serves as a collector roadway in Cordova. Figure 1, shows the relationship between Lake Avenue, Mount Eccles Elementary, and the large residential area east of the school. Lake Avenue has a sidewalk on the south side.

The scope of this project is limited and governed in large part by the funding limits for the Safe Routes to School program grants. The maximum grant currently available is \$250,000.00. Work programmed for this project includes:

- Two new striped crosswalks at the corner of Adams Avenue and Second Street.
- Handicap access ramp on the north side of Adams Avenue coinciding with a new striped crosswalk across Adams Avenue at Third Street.
- New 6-foot wide sidewalk on the east side of Third Street between Adams Avenue and Lake Avenue.
- Raised crosswalk across Lake Avenue at Third Street, connecting the new sidewalk with the existing sidewalk on the south side of Lake Avenue.
- Storm drain improvements required as a result of the new sidewalk and raised crosswalk on Lake Avenue.
- School crossing signage, as required by the new crosswalks.

The proposed improvements identified above are represented diagrammatically in Figure 2 and further detailed in the attached preliminary engineering documents (Appendix).

3 PROPOSED ALTERNATIVE

3.1 Sidewalk Links

Three alternatives were considered for sidewalk links from Mount Eccles Elementary School to Lake Avenue. The alternatives included the east side of Second Street from Adams Avenue to Lake Avenue, the west side of Third Street from Adams Avenue to Lake Avenue, and the East side of Third Street from Adams Avenue to Lake Avenue.

The sidewalk connection between the school and Lake Avenue on Second Street is still considered desirable and is slated for a future phase of improvements. Due to the nature of the street (topography and on-street parking), placement of the sidewalk on this street will require either an easement or added right-of-way. As a result, the community is examining the option for local funding of this improvement.

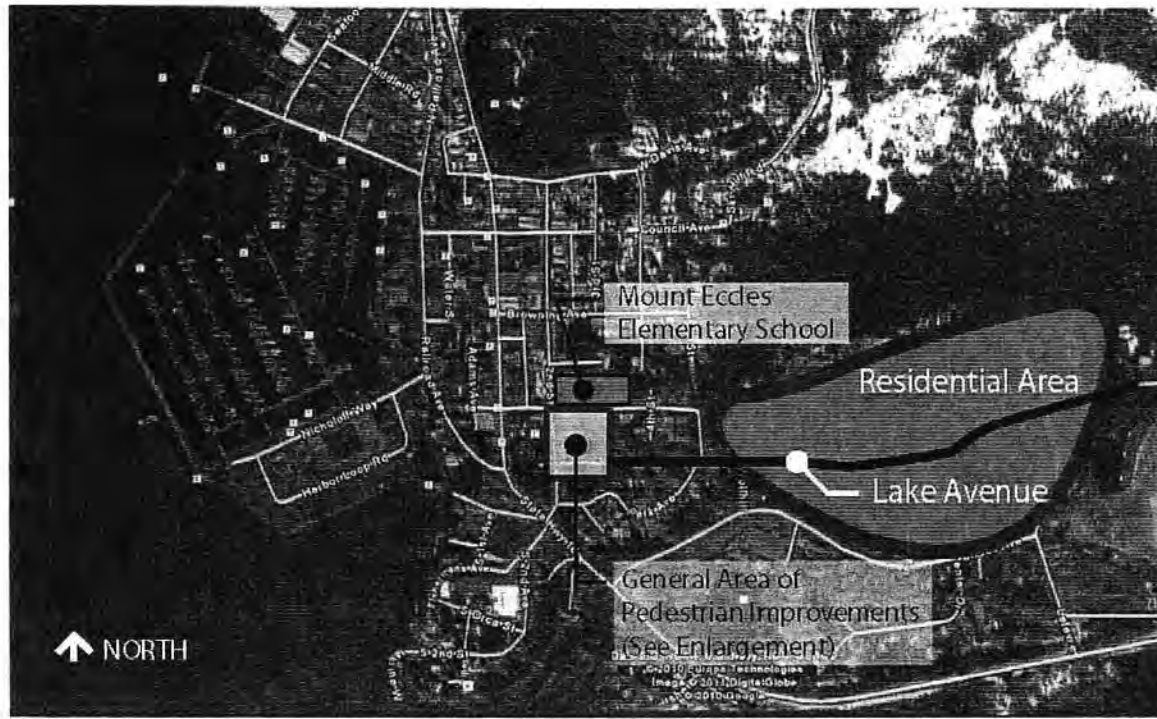


Figure 1 - Project Vicinity

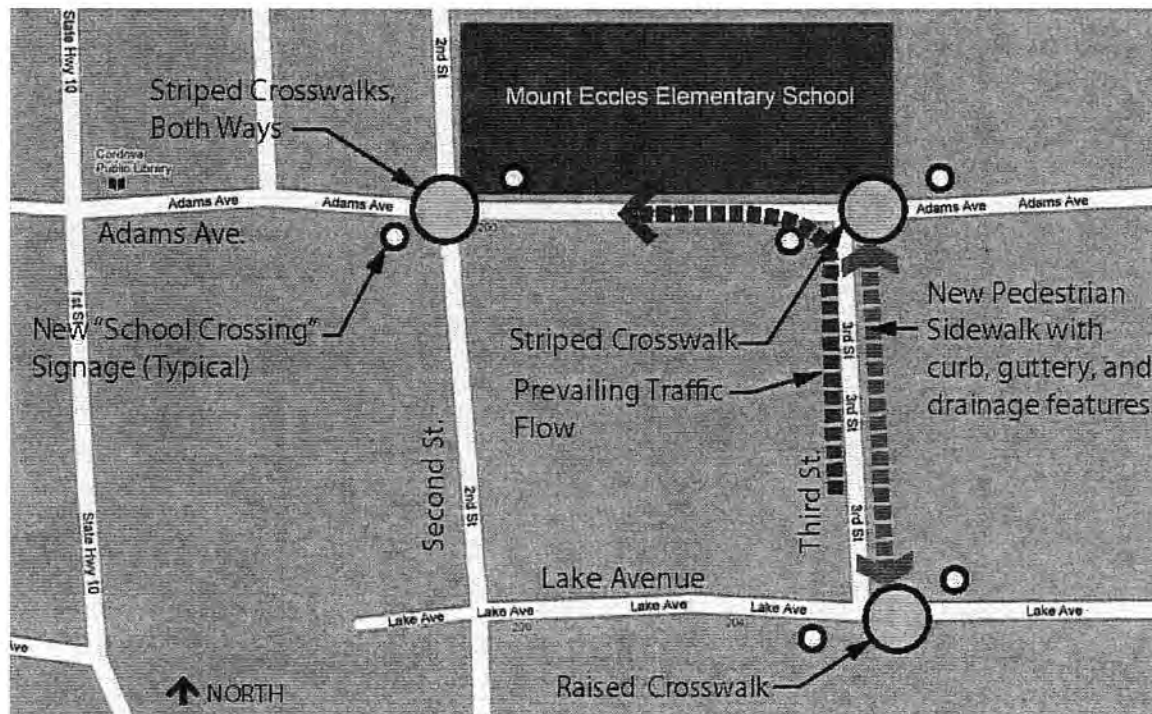


Figure 2 - Project Area Enlargement (Proposed Pedestrian Improvements)



Third Avenue has a 60-foot right-of-way and the location of the road within the right-of-way can be seen on sheet 2.02 (Appendix). Although both sides of the street were considered for construction of the sidewalk, the east side was selected for two key reasons. First, parent pick-up and drop-off tends to queue up along Third Street, turning left on Adams Avenue to pick children up (see Figure 2). If the sidewalk is on the west side, children have to pass through the prevailing traffic pattern to get to the front of the school. If the sidewalk is on the east side of Third Street, pedestrians are on the outside of the traffic loop and there are far fewer conflicts between pedestrians and vehicles. It should be noted that there is very little traffic east of Third Street on Adams Avenue, because the street dead-ends one block to the east of the school. A second reason for placing the sidewalk on the east side is that there are far fewer utility conflicts on the east side of the street.

The houses adjacent to Third Street do not currently have clearly defined driveways and in some cases parking occurs along much of the street frontage of the house. To accommodate this, a roll curb and gutter is used for most of the sidewalk edging along Third Street. The roll curb and gutter transitions to a barrier curb and gutter on the curb return radius in the location shown on the plan view of Sheet 6.02 (Appendix). To accommodate vehicular traffic across the sidewalk, the slab has been designed to be 6 inches thick. There will be some transitional grading from the back of the sidewalk into the adjacent properties.

3.2 Raised Crosswalk

The crosswalk across Lake Avenue, connecting the new sidewalk of Third Street to the existing sidewalk on the south side of Lake Avenue, is proposed as a raised crosswalk for two reasons. The first is that Lake Avenue is a collector roadway and speeds tend to be higher on this street than for other nearby residential streets. The raised crosswalk will serve as a traffic calming measure to slow traffic approaching the crosswalk. The second reason this is a desirable solution is that the sidewalk on the south side of Lake Avenue is a utilitwalk. In essence it is a utilidor with a lid that serves as a sidewalk. Section A-A of Sheet 6.01 (Appendix) shows a section through the utilitwalk. Use of a raised crosswalk eliminates the need to modify the utilitwalk structure to create an American's with Disabilities Act (ADA) ramp for access to the sidewalk. The raised crosswalk would be graded to minimize impact on street maintenance. The concept of a raised crosswalk has been coordinated with local Alaska Department of Transportation and Public Facilities (DOT&PF) maintenance personnel. Sheet 6.02 (Appendix) shows the raised crosswalk geometry in plan and in section.

4 DRAINAGE FEATURES

The new sidewalk design will not contribute significantly to runoff, because the sidewalk is not a particularly large area and much of the area where the sidewalk is being placed is already highly compacted and nearly impervious. There are many existing storm drain improvements on Third Street and these can be seen on the survey drawing, Sheet 2.02 (Appendix). There are two field inlet catch basins on the east side of the street and rectangular catch basins located at the curb return at the intersection with Lake Avenue. There is also a long trench drain perpendicular to the street at the intersection with Lake Avenue.

New catch basins associated with the sidewalk and gutter improvements will tie directly into the existing field inlet catch basins. These can be seen in the plan view of Sheet 7.01 (Appendix). A new catch basin will also be located at the point of curvature of the curb return to Lake Avenue, in approximately the same location as the existing catch basin.



The raised crosswalk on Lake Avenue poses a new drainage challenge. A gradual incline extends a significant distance to the east of the intersection on Lake Avenue. Water drains down that incline and is currently captured in rectangular catch basins near the base of Third Street, but west of the proposed raised crosswalk. In essence the raised crosswalk would dam water flowing down Lake Avenue before it could reach the existing catch basins. To address this, two new catch basins are proposed on the east side of the raised crosswalk. These catch basins can be seen in the plan view of Sheet 7.01 and are further described in Section A-A on Sheet 6.01 (Appendix). The new catch basins tie into the existing storm drain system.

5 SIGNAGE

New school crossing signage is proposed for all of the new crosswalks. Locations for the signage can be seen on Sheet 2.01 and a signage message schedule can be found on sheets 5.01 and 5.02 (Appendix). Signage placement and appearance is in accordance with the Manual of Uniform Traffic Control Devices (MUTCD) 2003 Edition, Section 2A.21, as amended by the Alaska Traffic Manual, and the DOT&PF Standard Details.

6 GEOTECHNICAL INVESTIGATIONS

Due to the limited scope of this project, geotechnical investigations were not conducted. The 2003 Lake Avenue Upgrade project (AKSAS 67379) used a 32-inch base and subbase section for Lake Avenue, and 6 inches of base under 2 inches of wearing course for the side street widening. To match what has been previously constructed, the proposed section for the Third Street widening is 2 inches of Hot Mix Asphalt over 6 inches of aggregate base course, supported by 12 inches of Select Material Type A. The elevation of the bottom of excavation will be extended under the sidewalk, which will result in a sidewalk section of 16 inches of Select Material, Type A, 2 inches of aggregate base course, and 6 inches of Portland cement concrete.

7 PUBLIC INVOLVEMENT

The community of Cordova conducted a significant public involvement process to determine a range of projects and actions that would promote a safe walk to school for local children. A number of projects were identified in the vicinity of the school and projects were prioritized based on need, best value, and likelihood of implementation. As an example, a project that required the acquisition of right-of-way or an easement was given a lower priority than a project of similar value that could be accomplished entirely within the public right-of-way. Based on a list of prioritized projects, the elements included in this project were identified based on availability of funding. A public meeting was held in Cordova on January 18, 2011, to present the preliminary design and obtain feedback from the community.

8 ENVIRONMENTAL REVIEW

As a result of the use of federal funding, there are a number of environmental investigations that must be completed by federal mandate. These include identification of cultural and historic resources, wildlife impacts, water bodies, and coastal management. DOT&PF has been closely involved in preparation of this documentation and a draft environmental checklist is now complete. The environmental checklist will be finalized upon return of comments or approval from the State Historical Preservation Officer (SHPO).

Appendix Engineering Exhibit

ENGINEER'S ESTIMATE

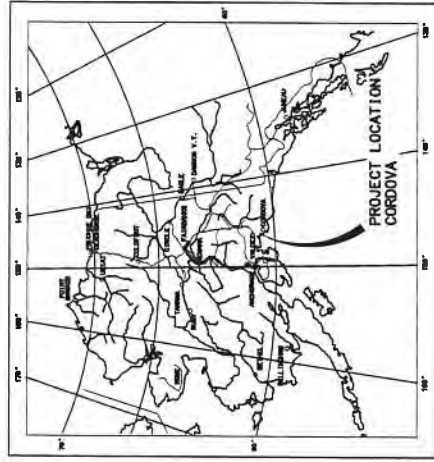
CITY OF CORDOVA CORDOVA SAFE ROUTES TO SCHOOL

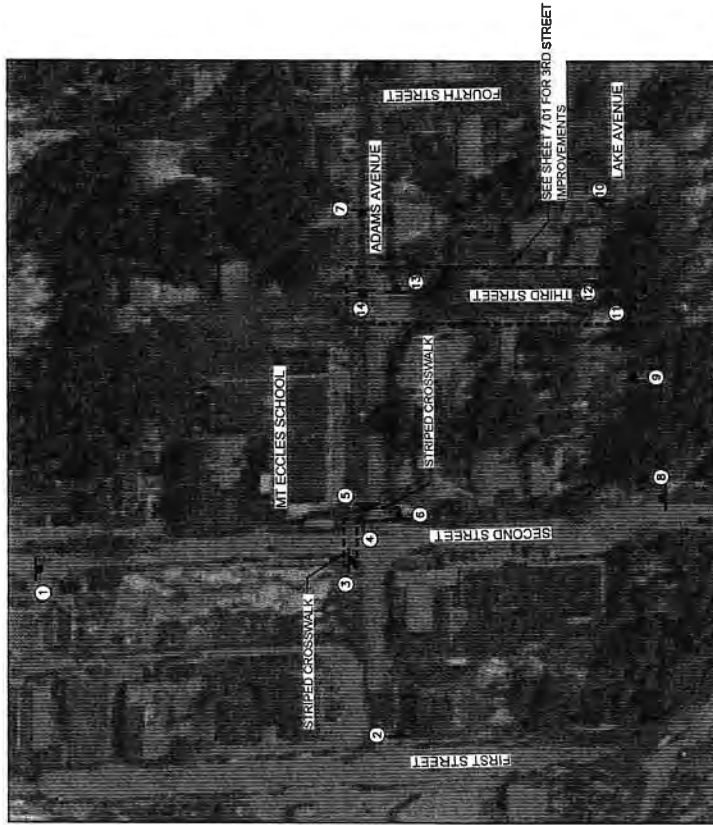
ITEM NO.	ITEM	UNIT	UNIT PRICE	QUANTITY	AMOUNT
202(2)	REMOVAL OF PAVEMENT	SQUARE YARD	\$4.00	260	\$1,040.00
202(8)	REMOVAL OF INLET	EACH	\$3,000.00	2	\$6,000.00
202(9)	REMOVAL OF CURB AND GUTTER	LINEAR FOOT	\$10.00	50	\$500.00
203(3)	UNCLASSIFIED EXCAVATION	CUBIC YARD	\$15.00	270	\$4,050.00
203(6A)	BORROW, TYPE A	TON	\$26.00	417	\$10,842.00
301(1)	AGGREGATE BASE COURSE, GRADING D-1	TON	\$45.00	81	\$3,645.00
401(1)	HOT MIX ASPHALT, TYPE II; CLASS B	TON	\$180.00	49	\$8,820.00
603(17-18)	18 INCH PIPE	LINEAR FOOT	\$170.00	70	\$11,900.00
604(1A)	STORM DRAIN MANHOLE, TYPE 1	EACH	\$7,000.00	1	\$7,000.00
604(3)	RECONSTRUCT EXISTING MANHOLE	EACH	\$4,500.00	4	\$18,000.00
604(5)	INLET, TYPE A	EACH	\$4,000.00	3	\$12,000.00
608(1a)	CONCRETE SIDEWALK, 6 INCHES THICK	SQUARE YARD	\$100.00	225	\$22,500.00
608(6)	CURB RAMP	EACH	\$2,000.00	3	\$6,000.00
608(10)	DETECABLE WARNING TILES	SQUARE FOOT	\$100.00	20	\$2,000.00
609(2)	CURB AND GUTTER, TYPE 1	LINEAR FOOT	\$50.00	340	\$17,000.00
615(1)	STANDARD SIGN	SQUARE FOOT	\$120.00	130	\$15,600.00
615(6)	SALVAGE SIGN	EACH	\$130.00	10	\$1,300.00
618(6)	TOPSOIL AND SEEDING	LUMP SUM	\$1,000.00	ALL REQ'D	\$1,000.00
639(4)	DRIVEWAY	EACH	\$2,000.00	4	\$8,000.00
640(1)	MOBILIZATION AND DEMOBILIZATION	LUMP SUM	\$32,000.00	ALL REQ'D	\$32,000.00
641(1)	SWPP PLAN	LUMP SUM	\$5,000.00	ALL REQ'D	\$5,000.00
642(1)	CONSTRUCTION SURVEYING	LUMP SUM	\$3,000.00	ALL REQ'D	\$3,000.00
643(25)	TRAFFIC CONTROL	LUMP SUM	\$10,000.00	ALL REQ'D	\$10,000.00
670(10)	MMA PAVEMENT MARKINGS	LUMP SUM	\$12,000.00	ALL REQ'D	\$12,000.00

TOTAL BASIC BID	\$219,197.00
ITEM 644 EXCLUSIONS	\$0.00
BASIC BID, LESS ITEM 644 EXCLUSIONS (BB)	\$219,197.00
CONSTRUCTION ENGINEERING (CE) (0% OF BB)	\$0.00
SUBTOTAL (BB + CE)	\$219,197.00
ICAP EXPENSES (5% OF BB + CE)	\$10,959.85
CONTINGENCY (10% OF BB+CE+ICAP)	\$23,015.69
PROJECT TOTAL (EXCLUDES 644 ITEMS)	\$253,172.54

CORDOVA, ALASKA

CORDOVA SAFE ROUTES TO SCHOOL

[illegible][illegible]



- NOTES:
1. CONSTRUCT STRIPED CROSSWALKS IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR CONSTRUCTION. ALL CROSSWALKS SHALL BE DETERMINED BY THE ENGINEER IN THE FIELD.
 2. SEE SHEET 5.01 AND 5.02 FOR SIGN SUMMARY.

- LEGEND:
- ① SIGN CALLOUT

38% SUBMITTAL 3/23/11	
Date Stamp:	
By:	Revision:
Draw:	
USKH Urban Systems & Planning 201 N. V. Road Cordova, Alaska 99571 Phone: 907.256.4400 Fax: 907.256.4401 Email: info@uskh.com Website: www.uskh.com	
Project: CORDOVA SAFE ROUTES TO SCHOOL	
CITY OF CORDOVA Cordova, Alaska	
Project Mgr.	TS
Drawn	WW
Checked	TS
Date	15-Jan-11
Sheet Contents: SHEET INDEX	
Sheet No.: 2.01	
USKH W.O. 1263400	

35%
SUBMITTAL
3/23/11

Date Stamped:	
By	
Revision	
Date	

USKH

USKH CORPORATION
 2015 A Street
 Anchorage, Alaska 99501
 Phone: 907.561.1234
 Fax: 907.561.1235
 Email: info@uskh.com

Project:

CITY OF CORDOVA
CORDOVA
SAFE ROUTES
TO SCHOOL

Project Mgr:

TS

Drawn

WW

Checked

TS

Date

15-Jan-11

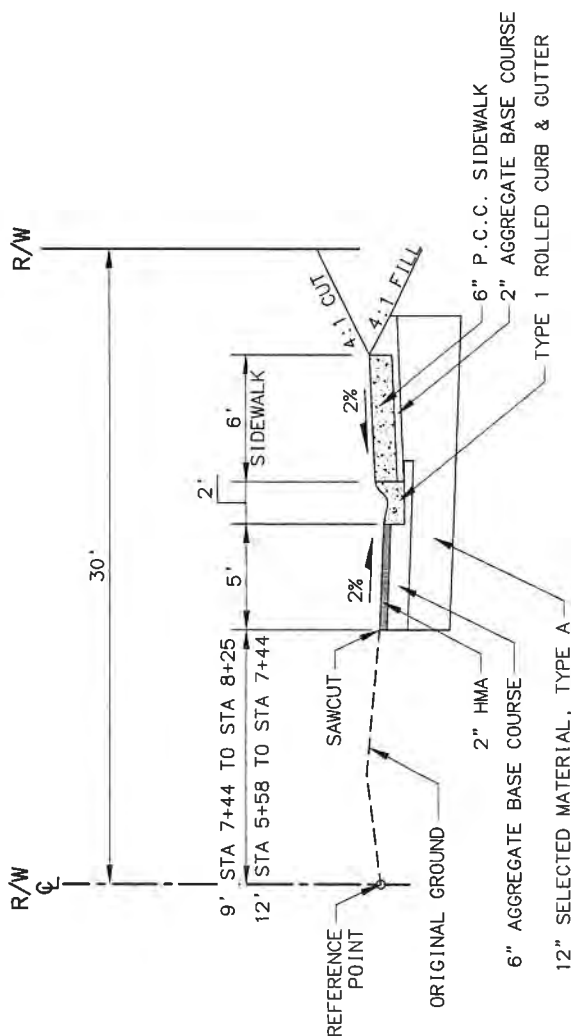
Sheet Content:

TYPICAL
SECTIONS

Sheet No.:



















3.01

USKH W.O. 1263400



THIRD STREET

NOTE:
1. DESIGNATIONS FOR CURB TYPE, AGGREGATE MATERIALS, AND ASPHALTIC CONCRETE SURFACING REFERENCE STANDARD DETAILS AND SPECIFICATIONS OF ALASKA DEPARTMENT OF TRANSPORTATION AND PUBLIC FACILITIES (ADOT&PF).

SIGN SUMMARY												
SIGN NO.	NORTHING	EASTING	SIGN CODE	LEGEND	SIZE		TOTAL AREA	THICKNESS		FACES	POST	REMARKS
					WIDTH	HEIGHT		UNFRAMED	BRACED			
1	390942.82	184124.81	S1-1		36.0	36.0	9.0			N	1-2.5'PT	
			W16-9P		36.0	18.0	4.5			N		
2	390494.17	183923.13	S1-1		36.0	36.0	9.0			W	1-2.5'PT	
			W16-9P		36.0	18.0	4.5			W		
3	390551.58	184136.70	S1-1		36.0	36.0	9.0			N	1-2.5'PT	
			W16-7P		30.0	18.0	3.75			N		
4	390542.46	184187.96	S1-1		36.0	36.0	9.0			S	1-2.5'PT	
			W16-7P		30.0	18.0	3.75			S		
5	390533.63	184200.87	S1-1		36.0	36.0	9.0			E	1-2.5'PT	
			W16-7P		30.0	18.0	3.75			E		
6	390494.17	184193.51	S1-1		36.0	36.0	9.0			W	1-2.5'PT	
			W16-7P		30.0	18.0	3.75			W		
7	390536.35	184567.08	S1-1		36.0	36.0	9.0			E	1-2.5'PT	
			W16-9P		36.0	18.0	4.5			E		
8	390168.84	184214.64	S1-1		36.0	36.0	9.0			S	1-2.5'PT	
			W16-9P		36.0	18.0	4.5			S		
9	390202.15	184364.97	S1-1		36.0	36.0	9.0			W	1-2.5'PT	
			W16-9P		36.0	18.0	4.5			W		
10	390241.09	184579.64	S1-1		36.0	36.0	9.0			E	1-2.5'PT	
			W16-9P		36.0	18.0	4.5			E		

36% SUBMITTAL 3/23/11

Date Shipped:

By

Revision

Date

USKH

Architecture • Engineering • Surveying
 Planning • Environmental Services

4000 West 10th Avenue, Suite 100
 Anchorage, Alaska 99503
 (907) 562-1111
 Fax: (907) 562-1112
 331 W. Denali Highway
 Anchorage, Alaska 99503
 (907) 562-1111

Project:

CORDOVA SAFE ROUTES TO SCHOOL

CITY OF CORDOVA

Cordova, Alaska

Project Mgr:

TS

Drawn

WW

Checked

TS

Date

15-Jan-11

Sheet Counter:

SUMMARY TABLES

Sheet No.:

5.01

USKH W.O. 1263400

USKH
 ENHANCED VENTURE, LIMITED-ENTRY SURVEILLANCE
 Architecture • Engineering • Surveying
 Planning • Environmental Services

2418 N. Elm
 Dallas, Texas 75203
 (972) 379-2415

544 4th Avenue,
 Suite 200
 Philadelphia, Alaska 99501
 (907) 453-2128

3911 Chilton Drive
 Suite 200
 Irvine, Alaska 98027
 (907) 760-2871

353 W. Park Highway
 Suite 200
 Wapato, Alaska 98254
 (907) 376-7715

1. SIGN LOCATIONS ARE APPROXIMATE. SIGNS SHALL BE INSTALLED IN THE RIGHT OF WAY AND OFFSET FROM THE ROAD OR SIDEWALK IN ACCORDANCE WITH THE DOT/PTF STANDARD DRAWINGS. OBTAIN APPROVAL FROM THE ENGINEER OF SIGN LOCATIONS BEFORE CONSTRUCTING SIGNS.
2. APPLY RETROREFLECTIVE MATERIAL TO POSTS SUPPORTING 51-1 SIGNS. MATERIAL SHALL BE THE SAME COLOR AS THE 51-1 BACKGROUND AND SHALL MEET THE REQUIREMENTS OF THE MUTCD, 2003 EDITION, SECTION 2A.21.

STORM DRAIN PIPE - LINEAR FOOT						
SHEET	PIPE #	INLET	OUTLET	INVERT	GRADE	QUANTITY
7.01	P1					
	P2					
7.01	P3					
	P4					

Sheet Contents:
SUMMARY
TABLES

5.02

USKH W.O. 1263400

35% SUBMITTAL
3/23/11

USKH
Engineering & Environmental Services
2143 N. Blvd
Anchorage, Alaska 99503
Phone: 907.774-4111
Fax: 907.774-4112
Email: info@uskh.com
Website: www.uskh.com

Project:
**CORDOVA
SAFE ROUTES
TO SCHOOL**

Date Stamp: _____
By: _____
Revision: _____
Date: _____

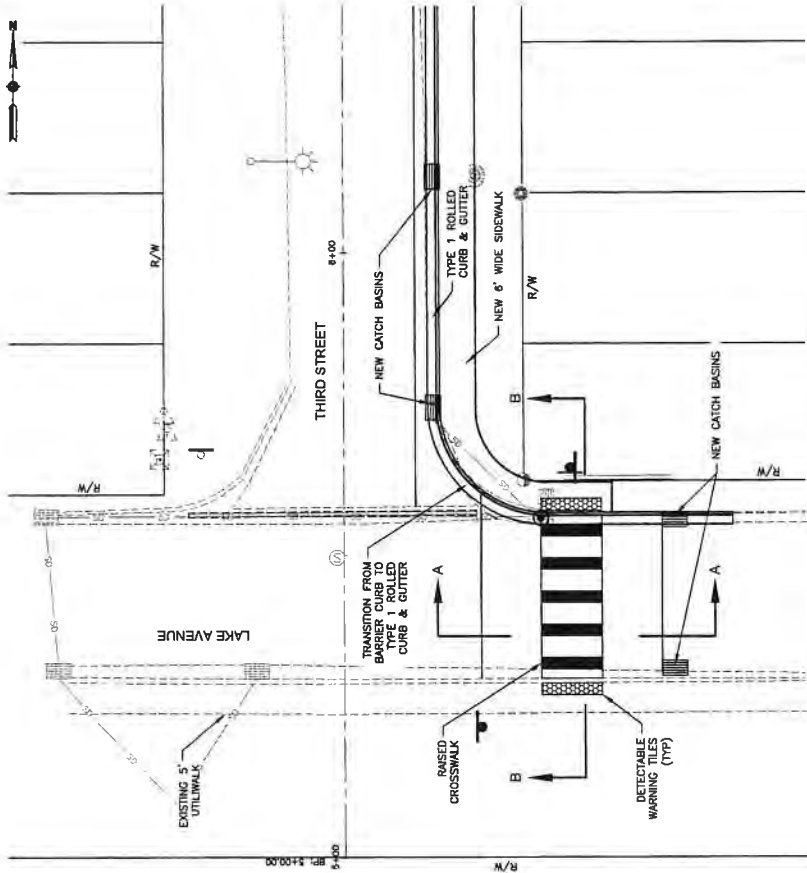
CITY OF CORDOVA
Cordova, Alaska

Project Mgr	TS
Drawn	WW
Checked	TS
Date	15-Jan-11

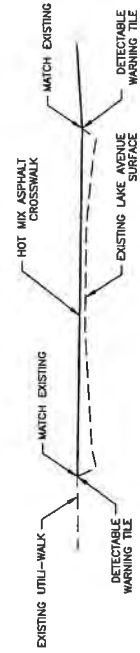
Sheet No.: **6.02**

Street Contents:
**CROSSWALK
AND RAISED
CROSSING
DETAILS**

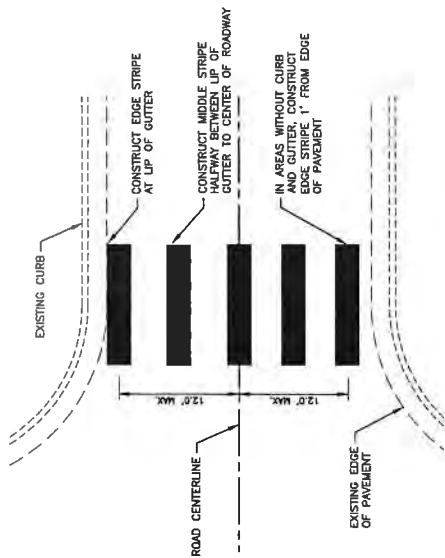
USKH W.O. 1263400



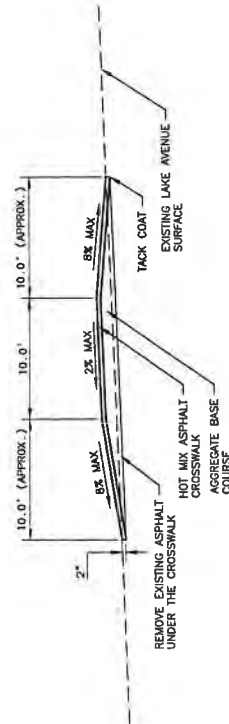
RAISED CROSSING PLAN VIEW



SECTION B-B



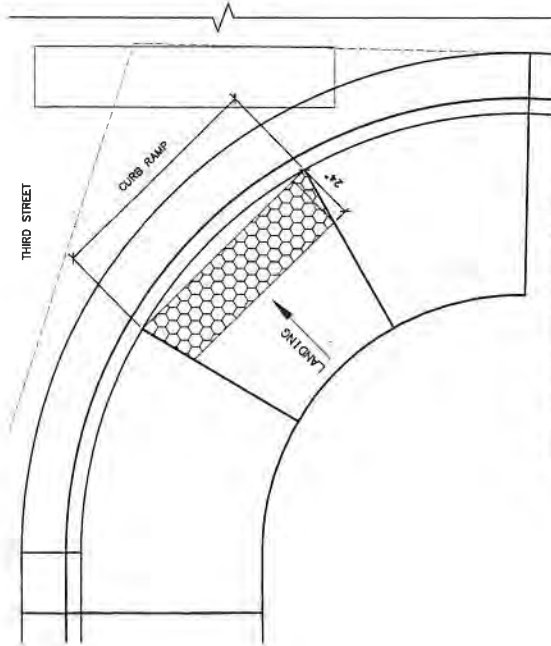
STRIPED CROSSWALK



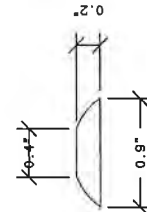
SECTION A-A



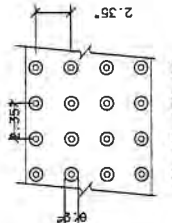
SECTION D-D



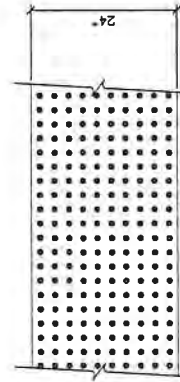
DETECTABLE WARNING AT CURB RAMP
SOUTH EAST THIRD STREET & ADAMS AVENUE



DOME SECTION

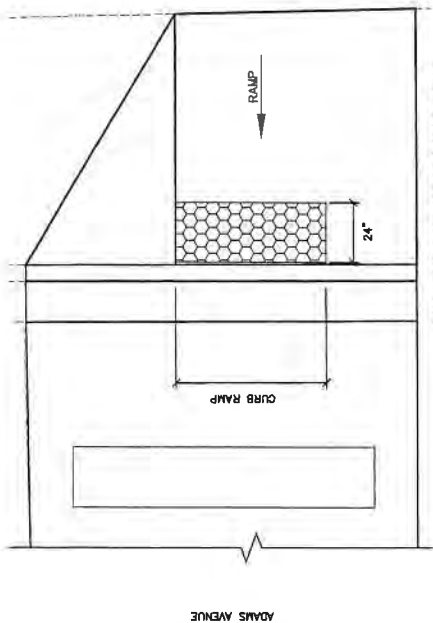


DOME PLAN

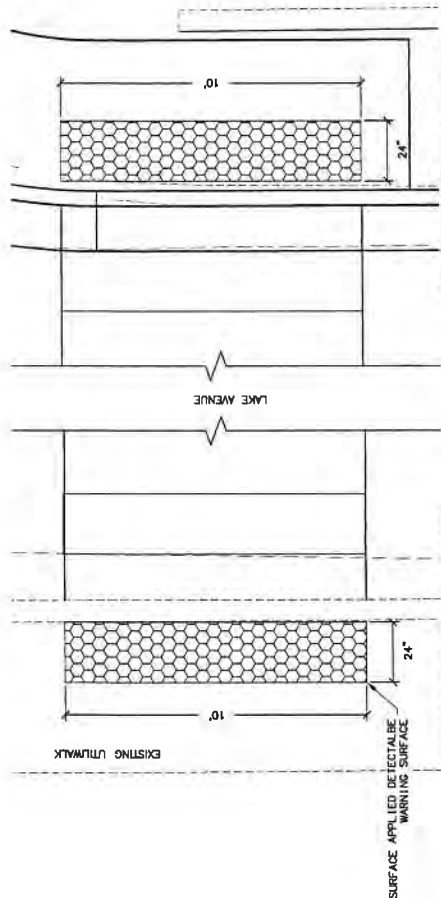


PLAN VIEW OF DETECTABLE WARNING SURFACE

DETECTABLE WARNING SURFACE DETAILS



DETECTABLE WARNING AT CURB RAMP
NORTH EAST THIRD STREET & ADAMS AVENUE



DETECTABLE WARNINGS AT RAISED CROSSING - LAKE AVENUE
SOUTH EAST THIRD STREET & LAKE AVENUE

DETECTABLE WARNING NOTES:

1. DETECTABLE WARNINGS SHALL BE 24 INCHES IN THE DIRECTION OF TRAVEL AND EXTEND THE FULL WIDTH OF THE CURB RAMP OR FLUSH SURFACE.
2. THE DETECTABLE WARNING SHALL BE LOCATED SO THAT THE EDGE NEAREST THE CURB LINE OR OTHER POTENTIAL HAZARD IS 6 TO 8 INCHES FROM THE CURB LINE OR OTHER POTENTIAL HAZARD, SUCH AS A RAIL CROSSING.
3. TRUNCATED DOMES SHALL HAVE A DIAMETER OF 0.9 INCH AT THE BOTTOM, A DIAMETER OF 0.4 INCH AT THE TOP, A HEIGHT OF 0.2 INCH AND A CENTER-TO-CENTER SPACING OF 2.35 INCHES MEASURED ALONG ONE SIDE OF A SQUARE ARRANGEMENT.
4. DOMES SHALL BE ALIGNED ON A SQUARE GRID IN THE PREDOMINANT DIRECTION OF TRAVEL TO PERMIT WHEELS TO ROLL BETWEEN DOMES.
5. THERE SHALL BE A MINIMUM OF 70 PERCENT CONTRAST IN LIGHT REFLECTANCE BETWEEN THE DETECTABLE WARNING AND AN ADJOINING SURFACE, OR THE DETECTABLE WARNING SHALL BE "SAFETY YELLOW". THE MATERIAL USED TO PROVIDE VISUAL CONTRAST SHALL BE AN INTEGRAL PART OF THE DETECTABLE WARNING SURFACE.
6. PROVIDE DETECTABLE WARNINGS AT ALL CURB RAMPS AND BLENDED CURBS, EXCEPT THOSE PROVIDING ACCESS ACROSS PRIVATE DRIVEWAYS.
7. DETECTABLE WARNING TILE SHALL BE CAST IN PLACE MODULES, EXCEPT THE INSTALLATION ON THE SOUTH SIDE OF LAKE AVENUE, WHICH SHALL BE SURFACE APPLIED.

35% SUBMITTAL 3/23/11		Date Stamped 3/23/11
USKH Urban Systems & Kinetics, Inc. Architecture • Engineering • Surveying Planning • Environmental Services 3412 N. 4th Ave. Suite 100 Anchorage, Alaska 99503 (907) 795-3481 Fax: (907) 795-3482 3917 Ocean Drive Suite 100 Anchorage, Alaska 99503 (907) 492-2708 6971 Franklin Highway Suite 200 Anchorage, Alaska 99503 (907) 26-8788		Project: CORDOVA SAFE ROUTES TO SCHOOL
CITY OF CORDOVA Cordova, Alaska Project Mgr: TS		Drawn: WW Checked: TS Date: 15-Jan-11
Sheet Content: DETECTABLE WARNING DETAILS		Sheet No.: 6.05
USKH W.O. 1253400		

ENGINEER'S ESTIMATE

CITY OF CORDOVA CORDOVA SAFE ROUTES TO SCHOOL

ITEM NO.	ITEM	UNIT	UNIT PRICE	QUANTITY	AMOUNT
202(2)	REMOVAL OF PAVEMENT	SQUARE YARD	\$4.00	260	\$1,040.00
202(8)	REMOVAL OF INLET	EACH	\$3,000.00	2	\$6,000.00
202(9)	REMOVAL OF CURB AND GUTTER	LINEAR FOOT	\$10.00	50	\$500.00
203(3)	UNCLASSIFIED EXCAVATION	CUBIC YARD	\$15.00	270	\$4,050.00
203(6A)	BORROW, TYPE A	TON	\$26.00	417	\$10,842.00
301(1)	AGGREGATE BASE COURSE, GRADING D-1	TON	\$45.00	81	\$3,645.00
401(1)	HOT MIX ASPHALT, TYPE II: CLASS B	TON	\$180.00	49	\$8,820.00
603(17-18)	18 INCH PIPE	LINEAR FOOT	\$170.00	70	\$11,900.00
604(1A)	STORM DRAIN MANHOLE, TYPE I	EACH	\$7,000.00	1	\$7,000.00
604(3)	RECONSTRUCT EXISTING MANHOLE	EACH	\$4,500.00	4	\$18,000.00
604(5)	INLET, TYPE A	EACH	\$4,000.00	3	\$12,000.00
608(1a)	CONCRETE SIDEWALK, 6 INCHES THICK	SQUARE YARD	\$100.00	225	\$22,500.00
608(6)	CURB RAMP	EACH	\$2,000.00	3	\$6,000.00
608(10)	DETECABLE WARNING TILES	SQUARE FOOT	\$100.00	20	\$2,000.00
609(2)	CURB AND GUTTER, TYPE I	LINEAR FOOT	\$50.00	340	\$17,000.00
615(1)	STANDARD SIGN	SQUARE FOOT	\$120.00	130	\$15,600.00
615(6)	SALVAGE SIGN	EACH	\$130.00	10	\$1,300.00
618(6)	TOPSOIL AND SEEDING	LUMP SUM	\$1,000.00	ALL REQ'D	\$1,000.00
639(4)	DRIVEWAY	EACH	\$2,000.00	4	\$8,000.00
640(1)	MOBILIZATION AND DEMOBILIZATION	LUMP SUM	\$32,000.00	ALL REQ'D	\$32,000.00
641(1)	SWPP PLAN	LUMP SUM	\$5,000.00	ALL REQ'D	\$5,000.00
642(1)	CONSTRUCTION SURVEYING	LUMP SUM	\$3,000.00	ALL REQ'D	\$3,000.00
643(25)	TRAFFIC CONTROL	LUMP SUM	\$10,000.00	ALL REQ'D	\$10,000.00
670(10)	MMA PAVEMENT MARKINGS	LUMP SUM	\$12,000.00	ALL REQ'D	\$12,000.00



Notice to Proceed

Grantee Name and Address:	Title/ Short Description:
City of Cordova, Donald Moore, Interim PO Box 1210 Cordova, AK 99574 <i>City Manager</i>	Infrastructure - high visibility crosswalks, flashing ped crossing signs, sidewalks
<input type="checkbox"/> New Setup <input type="checkbox"/> Add Funds <input type="checkbox"/> Reduce Funds <input type="checkbox"/> Closure (Decrease) <input checked="" type="checkbox"/> Change: Please provide explanation of change and budget breakdown. <input type="checkbox"/> Move: Please provide coding source and reasons for move below in Explanations box; Please provide the new grant number and coding in the Programming Section.	

FUNDING SUMMARY Budgets Approved for this NTP

Budget Category	Current Budget Totals	SRTS Increase (Decrease)	Other Funds Increase (Decrease)	Revised Budget Totals
(100) Personnel Services		\$ -	\$ -	\$ -
(200) Travel & Per Diem	\$ -	\$ -	\$ -	\$ -
(300) Contractual Services	\$ 253,172.54	\$ -	\$ -	\$ 253,172.54
(400) Commodities		\$ -	\$ -	\$ -
(500) Equipment	\$ -	\$ -	\$ -	\$ -
(Indirect Costs)		\$ -	\$ -	\$ -
TOTALS	\$ 253,172.54	\$ -	\$ -	
TOTAL AMOUNT AUTHORIZED TO DATE				\$ 253,172.54

Explanation of Approved Grant Application & Activity Dates:

Change: This grant is best suited to be managed by the City of Cordova.
 Orig application was submitted by Cordova School District.

SRTS USE ONLY

Project Control Programming				NTP #: 2
Collocation Code	Program Code	Ledger Code	Account Code	
24461892	57801	30668582		Grant #: LU20-11-0003
Project #	<input type="checkbox"/> RSA(Interstate Agency) <input checked="" type="checkbox"/> EN (Outer State Agency)			Project End Date:
	2524070			

Project Control Programming Approved

Signature _____	Date _____	Signature _____	Date _____
Program Control Agent Name: Marcheta Moulton		Accounting Technician Name: Stefanie Bingham	

You may proceed with the activities for the Categories and specific Tasks enumerated below in the Funding Summary. Any activities beyond the written scope and/or any costs above the price estimate in our Agreement require prior SRTS approval and a Project Revision. Actual cost underrun of the Contract Amount for any Category shall not routinely accumulate for other Categories. SRTS reserves the right to retain or reallocate any remaining funds resulting from such cost underruns.

This NTP is cumulative and it supersedes all prior NTPs for this Agreement.

The SRTS Administrator for this NTP is: Steve Soenksen

Issued for the Contracting Agency per ADOT&PF Policy
 #01.01.050 by: Jeff Ottesen

Accepted for the Grantee by:

Signature _____	Date _____	Signature <i>Donald Moore</i>	Date <i>25 Jan 13</i>
-----------------	------------	-------------------------------	-----------------------

Memorandum

To: Planning and Zoning
From: Planning Department Staff
Date: 2/7/2013
Re: Letter of Interest, School Board recommendation – Lease space within the High School Building (USS 2637) for Prince William Sound Community College office and classroom use

PART I. GENERAL INFORMATION:

Requested Action: Recommendation to City Council
Address & Survey: 1203 square feet of classroom and office space at the High School Building (USS 2637) 100 Fishermen Ave
Zoning: Public Lands and Institutions

PART II BACKGROUND:

The Cordova School Board has reviewed a letter of interest seeking to lease 1203 square feet of classroom and office space at the High School to Prince William Sound Community College. The School board made a motion, discussed, and passed the motion to recommend the application from Prince William Sound Community to lease space at the High School, at their January 9th meeting. The City Codes specifically states that a resolution recommending the application is needed from the School Board. The School Board will meet on February 11th and the resolution will be presented and voted upon at that time, the approved and passed resolution will be presented to Planning and Zoning at the February 12 meeting.

PART III. REVIEW OF APPLICABLE CRITERIA:

As described in section 5.22.040 P&Z shall review and make a recommendation to city council on the disposal of the property and the method of disposal.

5.22.040 - Application to lease or purchase

D. The planning commission shall review the application, and recommend to the city council whether the city should accept the application, offer the real property interest for disposal by one of the competitive procedures in Section 5.22.060, or decline to dispose of the real property interest.

Section 5.22.060

- A. In approving a disposal of an interest in city real property for fair market value, the council shall select the method by which the city manager will conduct the disposal from among the following:
1. Negotiate an agreement with the person who applied to lease or purchase the property;
 2. Invite sealed bids to lease or purchase the property;
 3. Offer the property for lease or purchase at public auction;
 4. Request sealed proposals to lease or purchase the property.

PART IV. SUGGESTED MOTION:

“I move to recommend to City Council to dispose 1203 square feet of classroom and office space at the High School Building (USS 2637) by procedure #____.”



PRINCE • WILLIAM • SOUND • COMMUNITY • COLLEGE

Office of the President

Theresa Keel, Superintendent
Cordova School District
675 Second Street
PO Box 1330
Cordova, AK 99574

February 1, 2013

Dear Ms. Keel:

I was informed today that a formal letter requesting to lease the space at Cordova High School is needed, and I am happy to formalize that request. As you know, we have occupied the agreed space since August 2012 under a temporary use permit from the City of Cordova. A permanent solution to the city ordinance was expected to be in place prior to the holiday break in December, in keeping with the MOA and Use Permit that was put in place through that process.

Allow me, then, to reiterate the request that PWSCC be allowed to remain at the Cordova High School location currently leased to us. It is our intention to remain there until such a time that our needs or the high school's needs change. To date, the arrangement has worked well for all parties, and we hope to continue that.

Please let me know if there are any additional steps needed from me to help secure this arrangement.

Best Regards,

A handwritten signature in black ink, appearing to read "P. Wes Lundburg", is written over a horizontal line.

P. Wes Lundburg
Interim President

SCHOOL DISTRICT PROPERTY

This Agreement is made in duplicate this XX day of January 2013, by and between Cordova School District Whose principal place of business is 675 Second Street, Cordova, Alaska 99574 (hereinafter referred to as "Lessor"), and the University of Alaska, whose address of record is 3211 Providence Dr. Anchorage AK 99508, on behalf of the University of Alaska Prince William Sound Community College's Cordova Campus (hereinafter referred to as "Lessee").

Premises

Subject to the terms and conditions contained herein, Lessor leases to Lessee approximately 1,203 feet of classroom and office space known as "Classroom #3" and the "Multi-Purpose Room of the Library in the Cordova High School located at 100 Fisherman Way, Cordova, Alaska, including the reasonable use of common areas, including but not limited to, stairwells, hallways, restrooms, and on-site parking.

Term

The term of this Agreement shall be five (5) years, commencing on January XX, 2013, and terminating on January XX, 2018.

Extension of Term

The parties may extend the terms of this Lease upon mutual agreement

Rent

Lessee shall pay to Lessor the sum of \$1,666.66 per month as rent (Rent) commencing January XX, 2013. Rent shall be payable by the first day of each month throughout the term of this Lease and any extension thereof. Payment for any partial month's occupancy shall be prorated, based upon a thirty (30) day month. Rent may be paid in advance on a less frequent basis at the option of the Lessee.

Other Provisions

- A. Lessor shall provide janitorial service and supplies
- B. Lessee shall provide all telephone and internet infrastructure independent of the Cordova School District infrastructure
- C. Lessee shall telephone and line service charges
- D. Lessee shall pay internet services and phone charges
- E. Lessor shall pay all other utility costs (consisting of heat, electricity, snow removal, sewer and water).
- F. Library: With the exception of the District's use of the library for scheduled board meetings (typically monthly) Lessee will jointly use the library spaces in conjunction with Lessors activities during the scheduled school days, provided such use by the Lessee does not disrupt the Lessor's use of the library. This may include days when the library is closed due to traveling teams/visiting students accessing for sleeping quarters etc.
- G. Lessee must provide current liability insurance to the district in a form acceptable to the district. The Lessee is self-insured and will provide a Certificate of Self Insurance within 20 days to Lessor.

- H. General Indemnification. Lessee shall defend, indemnify and hold the City and its authorized representatives, agents, officers, and employees harmless from and against any and all actions, suits, claims, demands, penalties, fines, judgments, liabilities, settlements, damages, or other costs or expenses (including, without limitation, attorney's fees, court costs, litigation expenses, and consultant and expert fees) caused by lessee negligent acts or omissions, or omissions of Lessee's employees, agents, students or invitees. This provision does not apply to any harm, loss, injury or death caused by the negligent acts or omissions of lessor or its employees, agents, students, or invitees.
- I. Lessee is responsible for damages to premises resulting from or arising out of the Lessee's use of the premises.
- J. For security reasons, Lessee's related visitors must check into the principal's office upon arrival to the school/college during normal school day hours.
- K. Any adult classes (including GED) must be provided after the school day is completed (4:00 pm). The building hours will typically be 7:00 AM to 10:00 PM.
- L. Lessee must adhere to Lessor's Board policies that specifically apply to the University's use and work in the classroom and that do not violate the University's policies and regulations.
- M. Lessor will provide Lessee with current access to school calendar of events.
- N. Lessee reserves the right to erect or affix such exterior and interior signs as may be necessary to inform the public of the nature and locations of Lessee's business. The size and character of the signs shall be at Lessee's discretion and shall not unreasonably detract from the aesthetics of the building in which the Leased Premises is located.

Notices

All payments of rent shall be either hand-delivered or sent, postage prepaid, through United States mail to Lessor at the address shown below. All notices referred to in this Agreement shall be sent certified mail, return receipt requested, to the parties at the addresses shown below and shall be deemed given three (3) days after deposit in the mail.

LESSOR

Cordova School District
675 Second Street
Cordova, AK 99574

LESSEE

University of Alaska
Prince William Sound Community College
303 Lowe St.
Valdez AK 99686

Representation as to Authority

Each party represents that it has the authority and is authorized to enter into this Agreement.

Entire Agreement

This Agreement, and the exhibits set forth all of the terms, conditions, covenants and agreements of the parties relative to this Lease and supersede any former agreements, oral or written, which, upon the execution of this Lease, are terminated and of no further force and effect. There are no terms, conditions, covenants or agreements, except as herein provided.

Lessor

Lessee

Cordova School District

By:_____

Title:_____

Date:_____

University of Alaska

By:_____

Title:_____

Date:_____

February 2013

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
					1	2 Groundhog Day
3 Super Bowl	4	5	6 City Council Regular Meeting Library Conference Room 730	7	8	9
10	11	12 P&Z Meeting Library Conference Room 630	13	14 Valentine's Day	15	16
17	18 Presidents' Day City Closed	19	20 City Council Regular Meeting Library Conference Room 730	21	22	23
24	25	26	27	28		

March 2013

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
					1	2
3	4	5 Election Day	6 City Council Regular Meeting Library Conference Room 730	7	8	9
10	11	12 P&Z Meeting Library Conference Room 6:30PM	13 Harbor Commission Meeting	14	15	16
17	18	19	20 City Council Regular Meeting Library Conference Room 730	21	22	23
24	25 Seward's Day City Closed	26	27	28	29	30
31						

Cordova School District Spring Break is March 18-22, 2013.